

CITY OF BELMONT

Belgravia Residential Estate

Local Planning Policy No. 5

Pursuant to Schedule 2, Part 2, Clause 4 (Deemed Provisions) of the Planning and Development (Local Planning Schemes) Regulations 2015

Policy Basis

This former Western Power Depot in Belmont was zoned 'Urban' under the Metropolitan Region Scheme on 13 June 2003. The area now known as the 'Belgravia Residential Estate' is identified for predominantly residential development that is consistent with the Urban zoning of the land.

The Policy was originally adopted under Town Planning Scheme No. 14 (February 2004) and is readopted in modified form under Local Planning Scheme No. 15.

Council shall have regard to the standards of the policy to: ensure that a high standard of development is achieved; to provide a level of assurance for property owners that their investment will be protected; and that a quality living environment will be created for the wider community.

Policy Area

All land generally bounded by Belgravia, Barker, Daly and Wheeler Streets in Belmont, as shown on the Policy Plan in Attachment A.

Application of Policy

The guidelines will apply to all residential development in the 'Belgravia Residential Estate'.

Policy Objectives

- To promote the development of a vibrant new community catering for a mix of families, 'empty nesters' and singles in an urban infill area.
- To facilitate and maintain a high quality residential development with a range of housing styles.
- To maximise the built-in safety of the City.
- To achieve a unified and attractive streetscape within the Policy Area.

Policy Statement

1. Density and Landuse

- All residential lots shall be developed with single residential dwellings unless otherwise indicated on the Belgravia Residential Estate Policy Plan.

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- Those lots identified for Grouped Dwelling development as indicated on the Policy Plan are zoned Residential R20, however, Council has the discretion to consider densities up to a maximum density of R40 for quality development that complies with Clause 5.7.3 of Local Planning Scheme No. 15.
- The Mixed Use lot at the corner of Belgravia and Wheeler Streets may include a limited component of residential development in the form of 'shop top' apartments up to a density of R40. Any such development shall have regard for the scale and form of development on abutting lots.

2. Minimum Dwelling Areas

The minimum dwelling area on single residential lots (excluding porches, verandas, garages, patios and pergolas) shall be 160m².

3. Open Space

There shall be a minimum open space provision of 45% for single and 40% for two storey development. Open Space is defined in accordance with the Residential Design Codes (ie it excludes non-accessible roofs, verandahs, balconies over 0.5m above natural ground level, covered car parking bays and walkways, areas for rubbish disposal, stores, outbuildings or plant rooms).

4. Setbacks

Consistent setbacks will be applied throughout the development to ensure cohesive streetscapes with adequate separation of built form. In assessing front setbacks, Council will have regard for how the design relates to the siting of abutting residences.

- Front and rear setbacks are to be a minimum of 2 metres and an average of 4 metres.
- A minimum setback of 1.5 metres will apply to secondary street frontages.
- Zero lot lines on one side boundary will be permitted when the boundary wall complies with the Residential Design Code requirements.
- Where feasible, new parapet walls will be required to be in line with existing parapet walls on the neighbouring site.
- Setbacks of any upper floors shall be in accordance with the Residential Design Codes.

5. Dwelling Design

All residential development in the 'Belgravia Residential Estate Policy Plan' (Attachment A), must comply with the following provisions:

(a) *Materials and Colours*

- All external walls are to be constructed predominantly with a face brick, rendered or rammed earth finish, all completed to a high standard.
- Architectural wall elements such as rendered panels or areas of weather board or similar cladding shall not exceed 50% of the wall area of any facade. Where a residence is two storey, materials on the upper floor must reflect those on the ground floor (i.e. no hard cut off point between materials between ground and upper floor).

- Verandahs, alfresco areas and balconies shall incorporate brick, timber or coloured steel posts.
- Non coloured metal clad roofs will not be permitted.
- Driveways and crossovers shall be constructed of brick or block paving or patterned and coloured concrete i.e. no plain concrete, however can consider faux brick, to complement the colour theme of the dwelling.

(b) Design and Construction of Dwellings Adjacent to Belgravia Street

- The floor plan for new dwellings on land adjacent to Belgravia Street shall be designed so that those rooms least sensitive to vehicular noise, including secondary living areas, kitchens, bathrooms and spare bedrooms, are sited closest to Belgravia Street.
- Design measures to attenuate dwellings against traffic noise shall be encouraged (refer to Australian Standard 3671 – Acoustics – Road Traffic Intrusion – Building and Siting Construction).

(c) Design and Construction of Dwellings Abutting Land Zoned Mixed Use

All dwellings shall be two storey or incorporate mezzanines where lots abut land zoned Mixed Use. This is to create variety, ensure sufficient open space around dwellings and make certain that the scale is consistent with that existing and anticipated on abutting land.

(d) Visual Privacy

Major openings to active habitable spaces or their equivalent on upper floors should accord with the Residential Design Codes.

(e) Housing style

- No specific housing style is required, although all housing designs must be appropriate for the prevailing climate and setting of the land in a family oriented urban infill area.
- All housing should be designed to promote a high quality streetscape and community atmosphere.
- Design measures to maximise the built-in safety of the City through informal surveillance of the street and public spaces by windows and other such features is encouraged.
- Passive solar and energy efficient housing design is encouraged for all residential development in the Precinct.
- Plumbing fixtures, hot water systems, ground or wall mounted air conditioning units, garden sheds and clothes lines must not be visible from the street.

(f) Roofscape

- The minimum roof pitch shall be 25 degrees wherever visible from the street or public open space. A shallower pitch is acceptable where screened from view.

- Pitched roofs are required using either tiles or coloured traditional pattern corrugated metal.
- All solar collectors and roof mounted air conditioners must be mounted in locations that minimise visibility from the street or in the case of air-conditioners must match the colour of the roof.

(g) Satellite dishes

- Planning approval is required for the installation of satellite dishes within the Belgravia Residential Estate precinct. Council may refer applications to surrounding land owners for comment.
- Satellite dishes with a diameter of 70cm or less may be permitted where they are located below the roof ridgeline and **are not visible from the street.**
- All satellite dishes with a diameter greater than 70cm are to be wholly concealed from public view. In order for this to be achieved council may require one or more of the following:
 - The excavation and sinking of dishes below the boundary fence line;
 - The height of the boundary fence increased to a maximum height of 1.8m, with piers to a maximum height of 2.1m;
 - The installation of semi-mature screening landscaping.

(h) Garages

- A fully enclosed garage (with a garage door) shall be required with each single residential dwelling, having an internal area of not less than 30m².
- Garage doors and supporting structures shall not occupy more than 50% of the frontage at the setback line as viewed from the street. This may be increased to 60% where an upper floor or balcony extends for the full width of the garage and the entrance to the dwelling is clearly visible from the primary street.
- Garages shall be constructed of the same architectural style as the residence and shall incorporate materials, colours, roof pitches and design treatments that match the residence.

(i) Mixed Use Development

In addition to the other requirements of this policy the following provisions will apply to the 'Mixed Use' area at the corner of Belgravia Street and Katoomba Place.

Design Intent

- High quality innovative architecture and urban design is encouraged for any proposed development. (Refer Attachment No. B – Concept Plans Mixed Use Site).
- Any development shall have a regard to the scale and form of development on abutting lots. Although zoned 'Mixed-Use', any such development should have a residential influence to its fabric, to allow a sensitive integration into the site.

- All development should be at a 'human scale' to promote a comfortable pedestrian environment.
- Any building design must adhere to the requirement for any house design to be appropriate for the prevailing climate and setting of the land in a family orientated urban infill area. Large balcony areas may be utilized to provide outdoor living / entertaining. It is encouraged that the building fabric be 'opened up', with the inclusion of bi-fold and/or stackable doors, allowing the inside and outside to meet seamlessly.
- Architectural elements are encouraged to the building design to create character and interest in the façade.
- Gutter and downpipe treatments are to complement the dwelling design.

Building Height

Building heights are to be in accordance with Category B of Table 3 of the Residential Design Codes:

- Top of external wall – 6m
- Top of external parapet wall – 7
- Top of pitched roof – 9m

Roof Pitch & Form

- A minimum roof pitch of not less than 25 degrees is required, while not exceeding a maximum pitch of 45 degrees.
- Flat and curved roofs are permitted, subject to insulation requirements and where screened from view.

Front Setbacks

- An absolute minimum setback of 2m will be applied to the front and rear boundary, with an average of 4m. A larger front setback should be encouraged to provide greater landscaping provisions.
- A rear setback of 4.0m will be applied to the upper floor where bedrooms are located to the rear boundary, in accordance with the Residential Design Codes CI 6.8.1 to provide adequate privacy.
- A minimum setback of 1.5m will apply to secondary street frontages.
- A zero side boundary setback may be utilised when the wall(s) comply with Council's local planning policy No. 19 'Boundary Walls'.
- All setbacks are to be consistent to create a cohesive streetscape.

Car Parking Access Layout

- Car Parking is to comply with the local town planning scheme text, requiring a minimum of 1 parking bay per 30m² of office space and 2 spaces per dwelling.

- Car parking areas shall be designed in accordance with the relevant scheme requirements.
- All parking is to be contained internally on the lot and in a manner that minimises visual impact on the streetscape.
- An urban landscape edge (low hedges, plantings, fencing, etc) is to be provided to car park frontages.

Landscaping

- Landscaping within public view should contribute positively to the streetscape and amenity of the Belgravia Residential Estate.
- Where possible, narrow garden areas should be provided to the front of developments facing the street. Landscaping of the street setback is important, due to the impact it creates on the overall streetscape. Open front gardens are encouraged to also allow for casual surveillance between dwellings and the street, promoting safety and security.
- Any hard landscape elements should complement the elements of architecture in material, texture and colour, and must read coherently with the main dwelling and streetscape.
- Soft landscape elements should be used to soften the intensity of hard landscaping elements, such as walls.

6. Fencing

The use of front fencing is optional. Open front gardens are encouraged to allow a high level of casual surveillance between dwellings and the street to promote safety and security within Belgravia Residential Estate.

All residential fencing must comply with the following requirements:

(a) Front Fencing Standards for Dwellings Adjacent to Belgravia Street

- Fencing to residential properties adjacent to Belgravia Street shall be no more than 1.8 metres high (piers may be a maximum height of 2.0 metres) and constructed of either brick/limestone, or brick/limestone piers with wrought iron or timber (pinelap excluded) infill panels.
- Fencing for at least 25 per cent of the length of all residential lot boundaries to Belgravia Street shall be open and visually permeable. Where this cannot be achieved without seriously compromising the acoustical privacy of a dwelling, Council may exercise discretion to allow a lesser area of open fencing. In such instances, Council may require that the fencing be recessed or incorporate attractive design features to break up the length of solid fencing and to add interest to the streetscape.

(b) General Front Fencing Standards

- Any fencing forward of the front building line on both the primary and secondary street frontages and on side lot boundaries forward of the front building lines shall be constructed of either solid masonry not exceeding 0.8 metres in height or of solid masonry not exceeding 0.8 metres in height with masonry piers to a

maximum of 1.8 metres in height with the area between the piers containing open wrought iron, painted lattice or open painted timber infill.

- The style, materials and colours of front fencing should complement or match the proposed residence.
- The use of pool or mesh fencing is not permitted in any circumstances.

7. Landscaping

A condition of planning approval will require owners to lodge a landscaping plan for approval, prior to the issue of a building licence.

Quality landscaping to all areas of the property visible from the street is required.

8. Approval Processes

All residences within the Belgravia Residential Estate will require planning approval from the City of Belmont.

Council Officers are available to assist potential purchasers, owners and developers with any queries regarding the design guidelines.

GOVERNANCE REFERENCES

Statutory Compliance	<i>Planning and Development Act 2005</i> <i>Planning and Development (Local Planning Schemes) Regulations 2015</i> Local Planning Scheme No. 15
Industry Compliance	State Planning Policy 7.0 – Design of the Built Environment State Planning Policy 7.3 – Residential Design Codes
Organisational Compliance	Local Planning Policy No. 13 – Vehicle Access for Residential Development
Process Links	

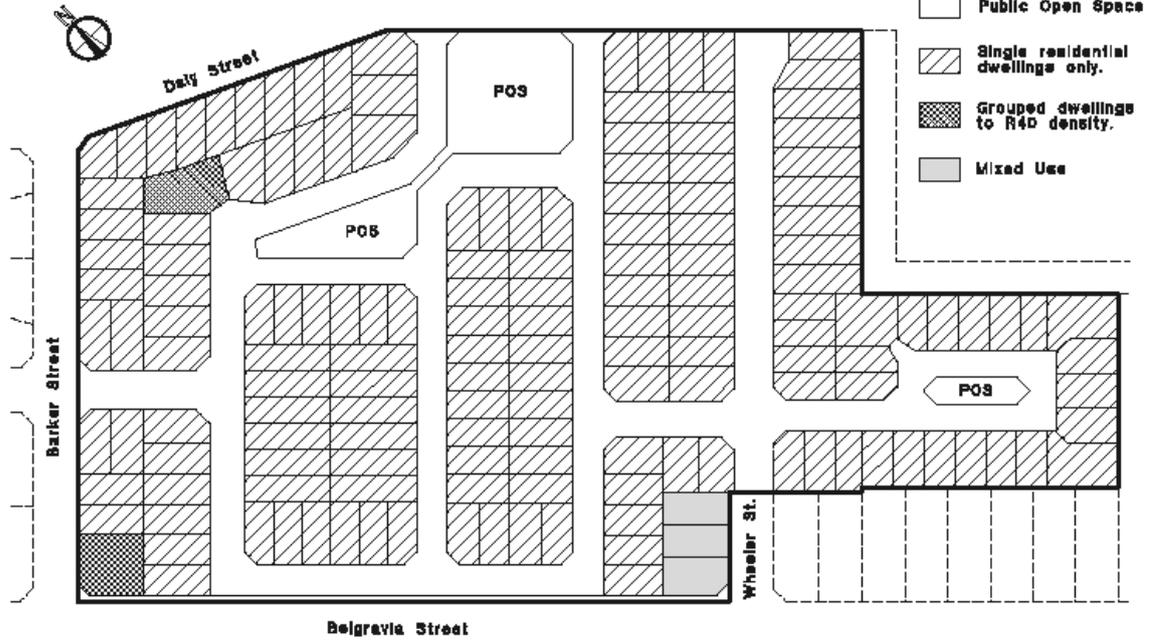
LOCAL PLANNING POLICY ADMINISTRATION

Directorate	Officer Title		Contact
Development & Communities	Manager Planning Services		9477 7222
Version Date	13/10/2020	Review Cycle	Triennial
		Next Due	13/10/2023
Version	Decision to Advertise	Decision to Adopt	Synopsis
1	28/07/2003 OCM (21/07/2003 PDC Item 9.3.4)		Consent to advertise. To facilitate and maintain a high quality residential development with a range of housing styles.
2	15/12/2003 OCM (08/12/2003 PDC Item 10.3.7)	24/02/2004 OCM (16/02/2004 PDC Item 10.3.2)	Adoption of policy under TPS14. To facilitate and maintain a high quality residential development with a range of housing styles.
3	27/04/2010 OCM (Item 12.4)	27/07/2020 OCM (Item 12.4)	Adoption of policy under TPS14. Show Lot 618 (106) Daly Street subdivided into three lots and designated 'Single residential dwellings only'. Policy Plan modified to show Lot 695 (65) Belgravia Street subdivided into three lots. Introduction of development guidelines for the mixed use site.
4	25/11/2008 Special Council Meeting (Item 6.1)	14/02/2011 Special Council Meeting (Item 10.1)	Adoption of policy under LPS15 amended to refer to relevant clauses of Scheme 15.

Attachment A

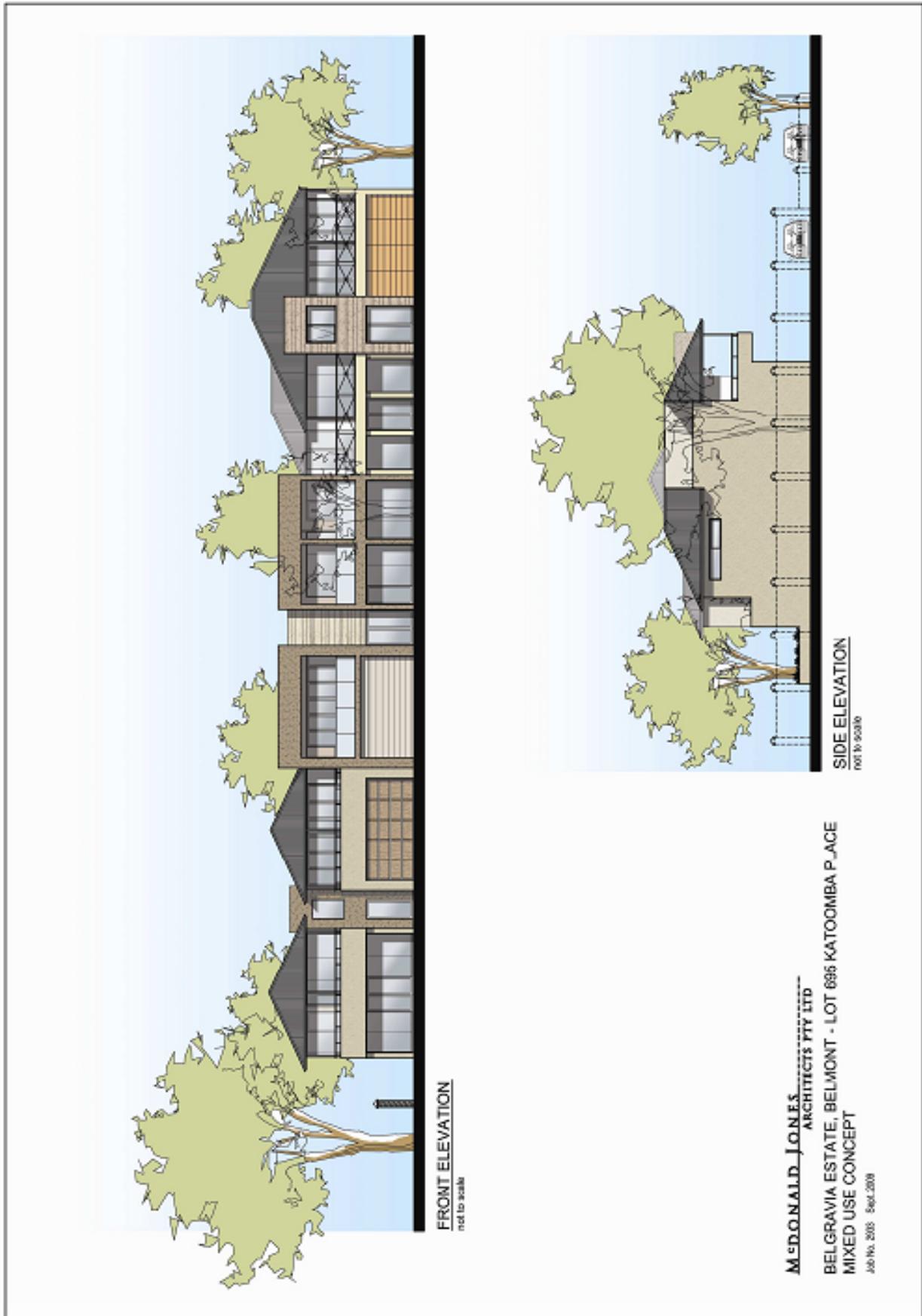
City of Belmont - Belgravia Parklands Special Development Precinct Policy Plan

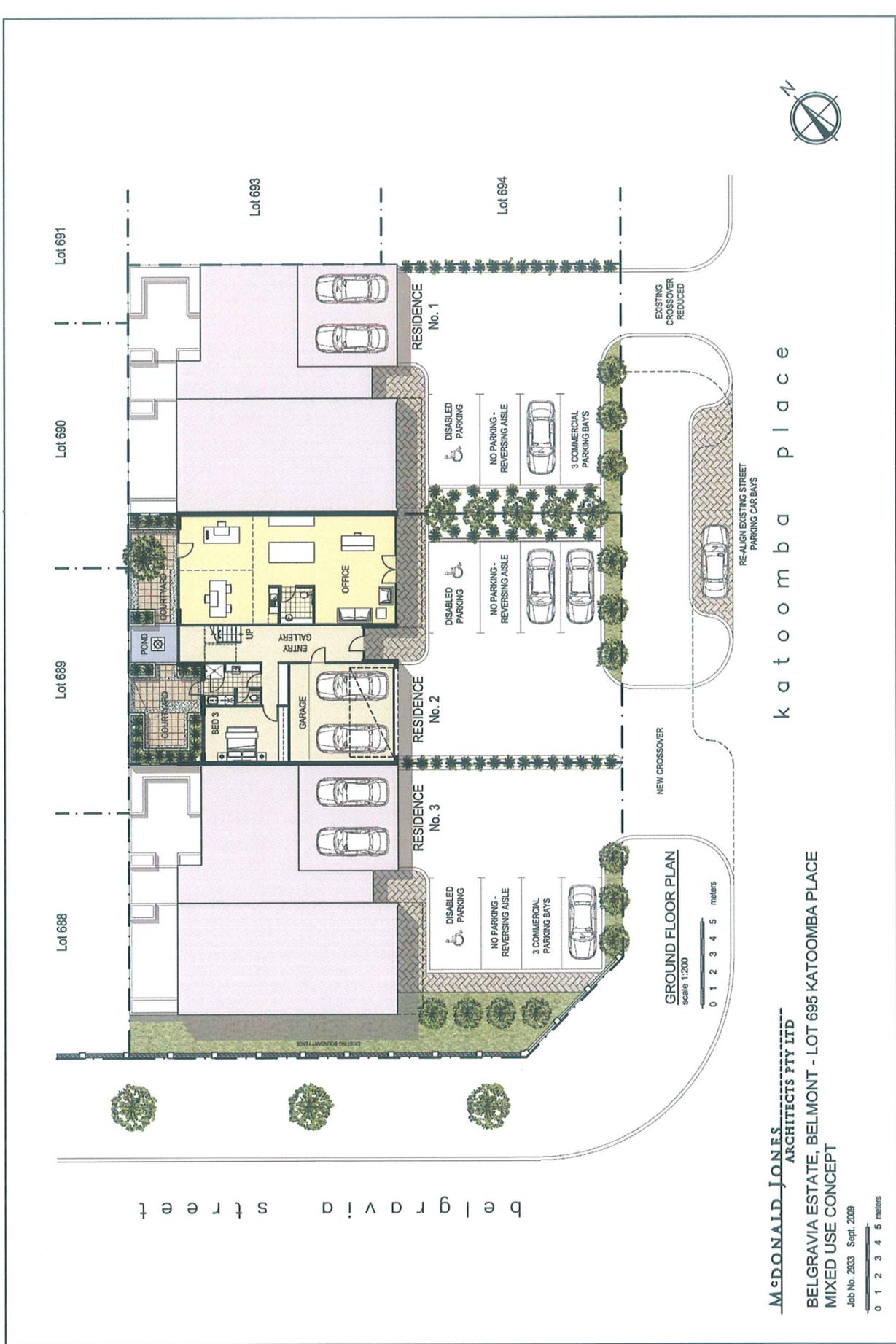
4 March 2010

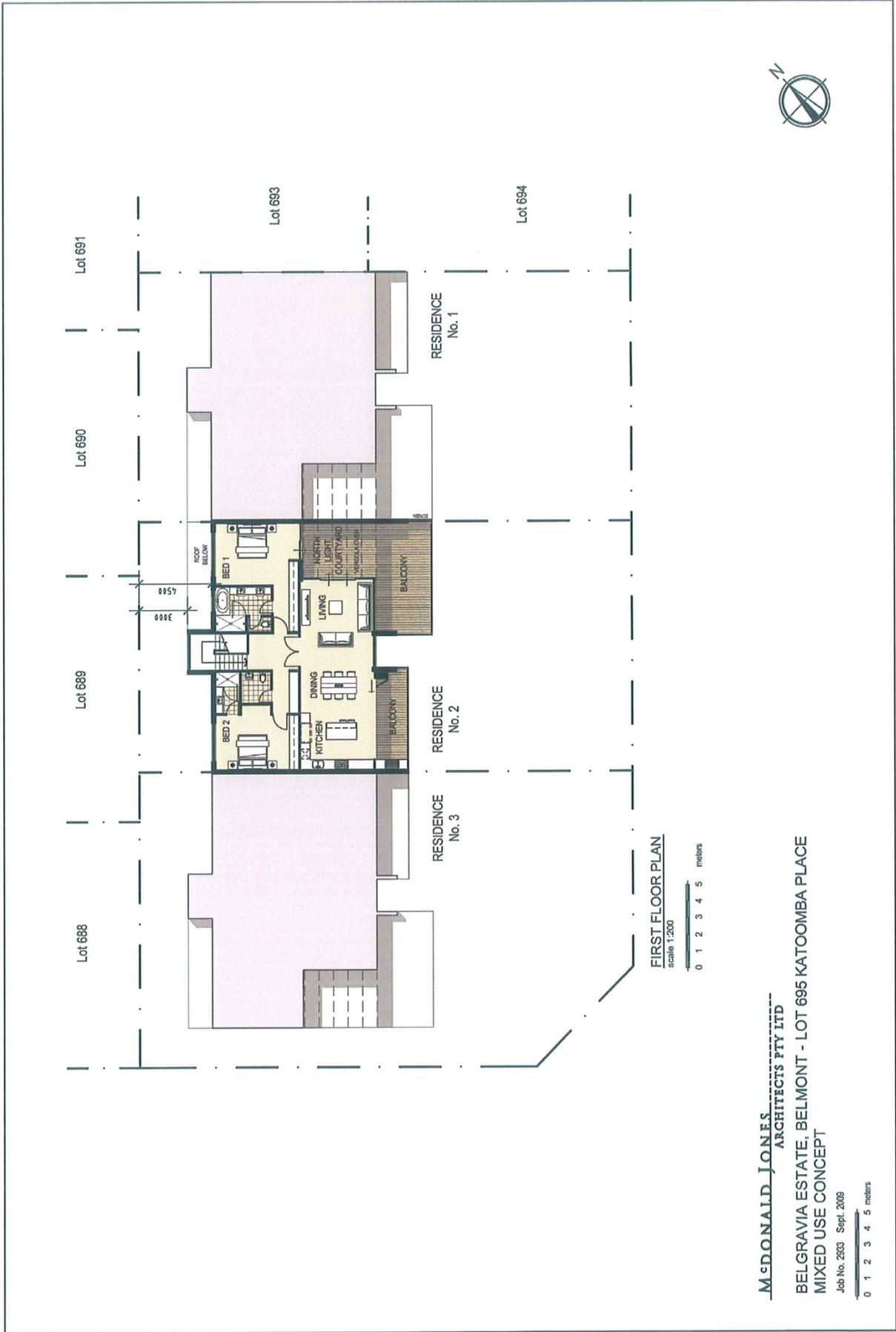


Attachment A

Attachment B – Concept Plans Mixed Use Site







MCDONALD JONES
 ARCHITECTS PTY LTD

BELGRAVIA ESTATE, BELMONT - LOT 695 KATOOMBA PLACE
 MIXED USE CONCEPT

Job No. 2553 Sept. 2009

0 1 2 3 4 5 meters