

Development Application Submission Form

This submission form is provided for your convenience. There is no obligation to make a submission. If you wish to make a submission, please complete this form and email to: planning@belmont.wa.gov.au or post to: City of Belmont, Locked Bag 379, Cloverdale WA 6985.

Written submissions should be lodged with the City within the required comment period. If no comments are received by the closing date, we will assume that you have no comment you wish to make and the application will be assessed and determined on its merits and without any further consultation.

Please note also that although submissions will assist the City in making a determination on the application, they should not be construed as the sole basis for the City's decision. The application will be determined on the relevant planning merits and the City may not agree with all or part of your submission.

DEVELOPMENT APPLICATION DETAILS	
DA Number:	155/2025
Property Address:	10 St Kilda Road RIVERVALE 6103 (Lot 160 PL 1711)
Proposed Development:	Single House and Ancillary Dwelling
Zoning:	Residential R20
Enquiries:	Planning Officer, Lydia Algeri 9477 7174

DETAILS OF PERSON(S) MAKING SUBMISSION			
<input type="checkbox"/> I am an Owner and Occupier or <input type="checkbox"/> I am an Owner or <input type="checkbox"/> I am an Occupier			
Name(s):			
Affected Address:			
Postal Address: (if different to above address)			
Telephone No:		Email:	
Signature:		Date:	

Note: submissions should be based on planning merit. A 'How to Make a Submission on a Town Planning Proposal' fact sheet is available for viewing from: www.belmont.wa.gov.au.

Submission:

Additional lines over page. Attach additional sheets if required.

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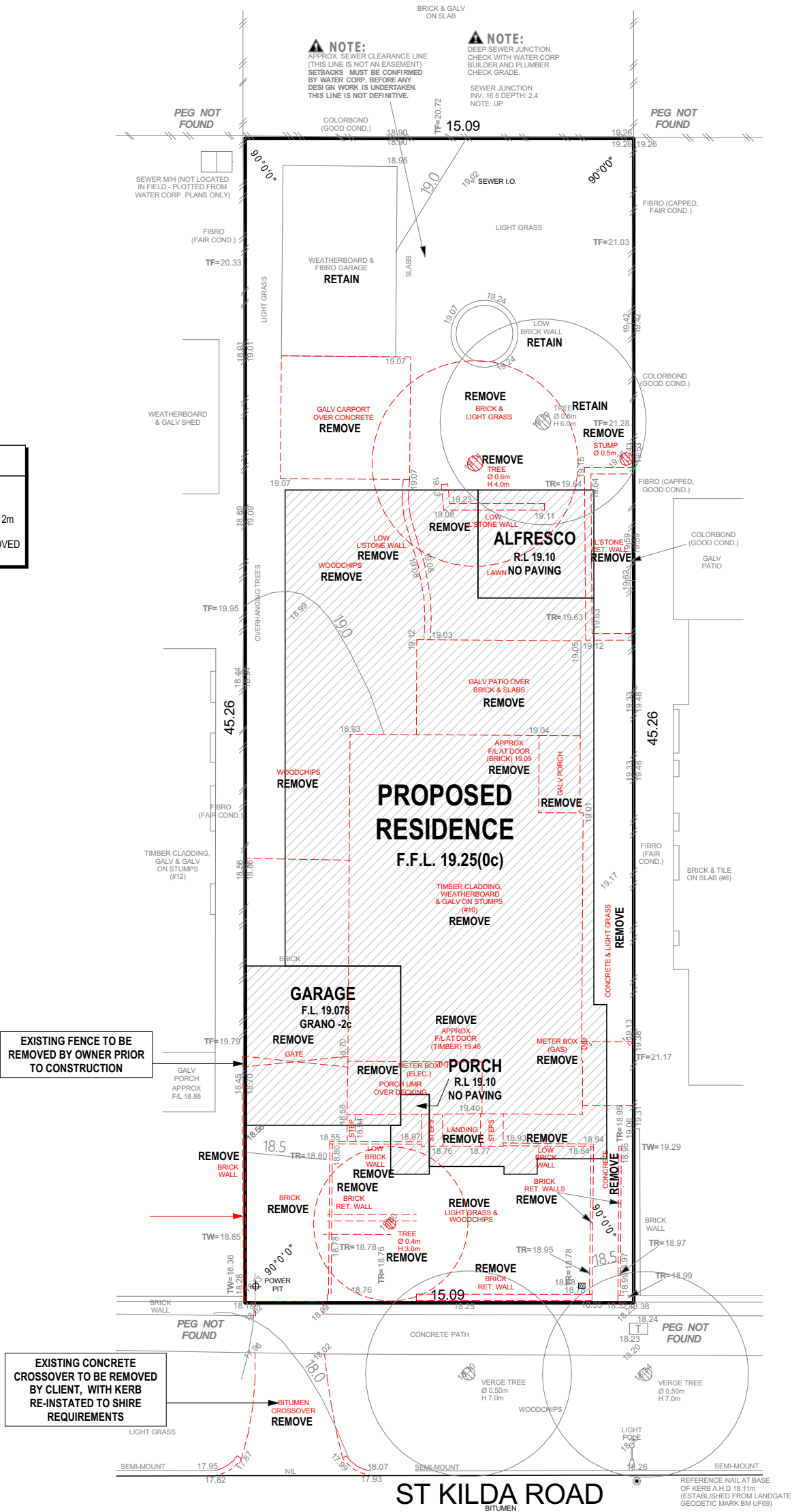
DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions
& notes prior to initiating works. Any
discrepancies to be notified to the Site
Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

DEMOLITION NOTES

CLIENT NOTE:
- ALL DEMOLITION BY CLIENT UNLESS OTHERWISE NOTED.
- ALL TREES/SHRUBS TO BE LOPPED (TRIMMED) TO WITHIN 2m
OF THE BUILDING ENVELOPE.
- EXISTING BUILDING, TREES AND ALL RUBBLE TO BE REMOVED
BY CLIENT PRIOR TO CONSTRUCTION.

CLIENT NOTE
1. ALL DEMOLITION BY CLIENT UNLESS
OTHERWISE NOTED.

REMOVE
RETAIN



PROPOSED RESIDENCE FOR:
Y. TSE

ADDRESS:
LOT 160 (#10) ST KILDA ROAD
RIVERVALE

DRAWN: GCA
DESIGNED: MON
CHECKED: SNL
DATE: 08.04.25
MODEL: ONE OFF

SCALE: 1:200
SHEET: 8 OF 11
SIZE: A3
NEW HOMES
JOB N° 171429

Issue Name	Drawn	Date	Issue Name	Drawn	Date

DEMOLITION PLAN

CITY OF BELMONT
RECEIVED
10/04/2025
Application No: 155/2025

SUMMIT
HOMES GROUP

R-CODES NOTE:

ZONING: R20
SITE COVERAGE
SITE: 683m²
ALLOWED COVER: 341.5m² (50%)
ACTUAL COVER (incl SHED): 332.98m² (49.74%)
R-CODES VARIATION/PLANNING REQUIRED: YES
-RETAINING OVER 500mm HIGH
BAL ASSESSMENT REQUIRED: NO

AVERAGING
4.47m² BEHIND
4.25m² IN FRONT

GARAGE NOTE:

- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPENING
PLUMBING NOTE:
- PLUMBING DRAINAGE PLAN DIAGRAMMATIC ONLY. FINAL POSITION TO BE DETERMINED BY PLUMBER ON SITE
- NO HOBS TO SHOWERS UNLESS SHOWN OTHERWISE.
- PLUMBER TO INSTALL REFLUX VALVE, IF REQUIRED.

NOTE:

- PROVIDE CONDUIT & DRAW WIRE IN COMMON TRENCH TO METER BOX

STORMWATER:

- INTERCONNECTED SOAKWELLS BY BUILDER.
ALL STORMWATER & SURFACE WATER DRAINAGE TO BE INSTALLED IN ACCORDANCE WI- NCC VOL 2, A.S. 3500.3:2003 & LOCAL AUTHORITY REQUIREMENTS.









Soak Well Type	No.	
SW 1200x1200	2	2.7 m3
SW 1500x1200	1	2.1 m3
Total Capacity		4.8 m3
Roof Area GF		350.0 m2
Total Area		350.0 m2
Capacity Required (Area x 0.0130)		4.6 m3
Extra Capacity Provided		0.3 m3

SEWER RUN CALCULATOR:

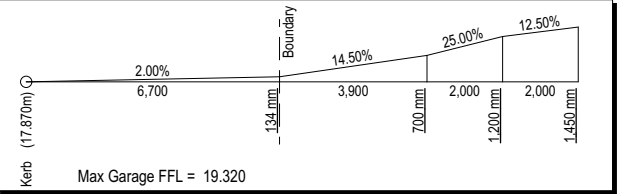
Residence	1
F.F.L.	19.25
Sewer Invert	16.6
Sewer Length	45.5
Height	1291.67



DO NOT SCALE FROM THIS DRAWING
All Sub-contractors to check dimensions & notes prior to initiating works. Any discrepancies to be notified to the Site Supervisor without delay.
ALL DIMENSIONS TO BRICKWORK.

LEGEND		SEC Dome
		Power Pole
		Phone Pits
		Water Conn.
		Top Pillar/Post
		Top Wall
		Top Retaining
		Top Fence

DRIVEWAY GRADIENT:



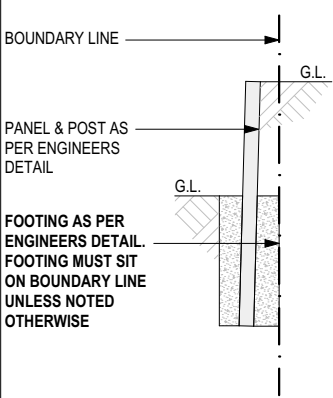
FRONT SETBACK IMPERVIOUS LANDSCAPING

- FRONT SETBACK AREA: 90.53m²
- ALLOWED IMPERVIOUS AREA: 45.265m² (50%)
- ACTUAL IMPERVIOUS AREA (incl R'WALLS): 38.18m² (42.17%)

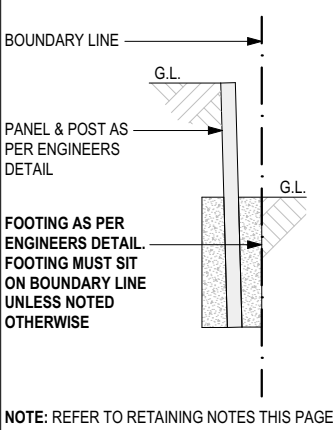
CLIENT NOTE:

- RETAINING WALLS BY OWNER AFTER DEMO PRIOR TO SITE START
- TOP OF WALL (TOW) INDICATED FOR CLARITY ONLY.
- ENSURE BOTTOM OF RETAINING IS EMBEDDED SUFFICIENTLY AS REQUIRED BY ENGINEERING DETAIL.
- REFER TO NEIGHBOURS EXISTING LEVELS OR NOMINATED PAVING / LANDSCAPING LEVELS FOR FULL REQ. RETAINING HEIGHTS.
- REFER TO ENGINEERS DETAILS

RETAINING WALL SETOUT:



RETAINING WALL SETOUT:



DISCLAIMER:

Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:

Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey inc. any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from inform. supplied by Water Corp.

DISCLAIMER:

Survey shows visible features only & will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal & mains services should be confirmed prior to finalisation of any design work.

NOTE:

Earthworks/set-out dimensions may vary on site at builders discretion. Sewer/drainage may vary from schematic presentation/check min. clearances. Retaining not included in contract - remains owners responsibility. This survey does not guarantee the location of boundary pegs or fences. Check title for easements/covenants etc.

DISCLAIMER:

Survey does not include verification of cadastral b'daries. All features & levels shown are based on orientation to existing pegs & fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true b'dary.

SEMI-MOUNTABLE KERB TO BE TIED TO EXTENT OF CROSSOVER BY OWNER WHERE APPLICABLE
EXISTING CONCRETE CROSSOVER TO BE REMOVED BY OWNER, WITH KERB RE-INSTATED TO SHIRE REQUIREMENTS

COTTAGE
SURVEYS

87-89 Guthrie Street
Osborne Park, WA 6017
PO Box 1611
Osborne Park BC, WA 6917
P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

AREA: 683m²
SHIRE: BELMONT
D.PLAN: 1711
C/T VOLUM: 1967
FOLIO: 191
MSD REF: -

ROAD DESCR.: BITUMEN
KERBING: SEMI-MOUNT/NIL
FOOTPATH: CONC.
SOIL: RTS
DRAINAGE: GOOD
VEGETATION: RTS

GAS: YES
WATER: YES
ELECTRICITY: U/G
PH/COMMS: YES
SEWER: YES
COASTAL: 300mm TO RIVER

SSA/OLD AREAS: OLD A.
C/JOB#: -596391
DATE: 19-12-24
SCALE: 1:200
DRAWN: T. CURREY

UNLOGGED SS PLAN:
ORIGINAL LOT:
LOT MISCLOSE: -
SSL 1 MISCLOSE:-
SSL 2 MISCLOSE:-

PROPOSED RESIDENCE FOR:
Y. TSE

ADDRESS:
LOT 160 (#10) ST KILDA ROAD
RIVERVALE

DRAWN: GCA
DESIGNED: MON
CHECKED: SNL
DATE: 08.04.25
MODEL: ONE OFF
SCALE: 1:200
SHEET: 9 OF 11
SIZE: A3
NEW HOMES
JOB N° 171429

Issue Name Drawn Date Issue Name Drawn Date
SITE PLAN


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SUMMIT
HOMES GROUP


SITE CLASSIFICATION - CLASS 'A'
(REFER TO SITE REPORT FOR
DETAILS) WIND LOAD - N2
CORROSION CLASSIFICATION - R3

BRICK NOTE
2c FACE BRICK TO BE LAID IN THIRD BOND U.N.O

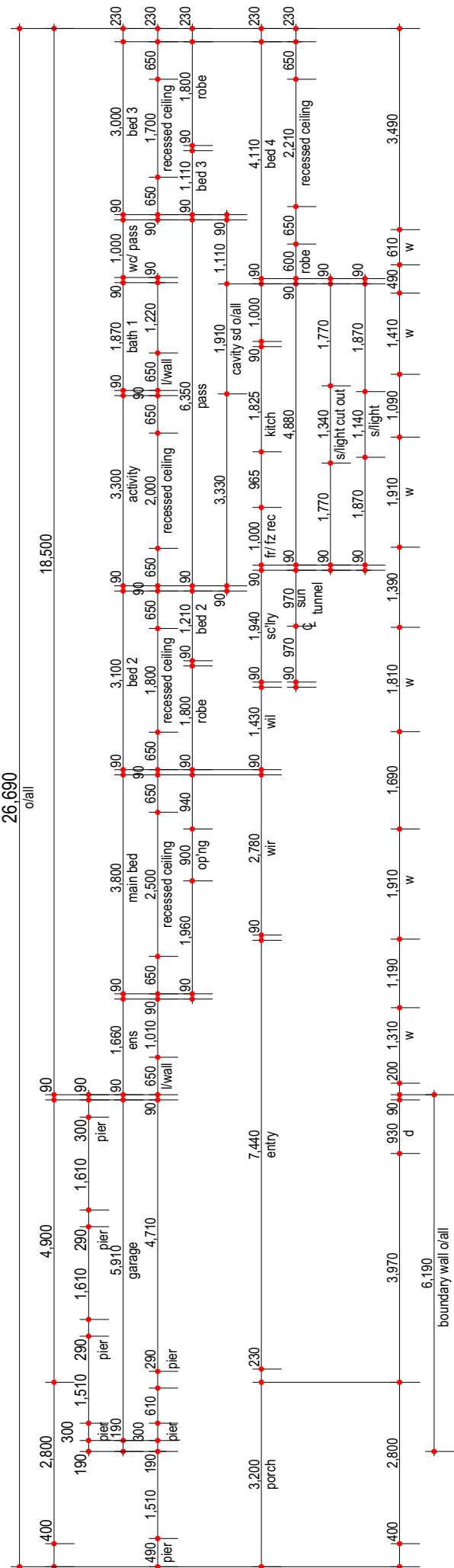
ROOF NOTE
- COLORBOND ROOF, PITCH AT 25° W/ 500W EAVES UNO
- STEEL ROOF FRAME TO NASH STANDARDS
- CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE

ROOF PLUMBER NOTE
- PROVIDE SLOTTED GUTTERS (EXC. GUTTER ON WALLS)
- FINAL POSITIONS OF R/WPS TO BE DETERMINED ON SITE
- R/WPS IN PORCH TO BE STRAIGHT CONNECTION
TO STORMWATER SYSTEM (NO KICK)
- EAVE VENT FOR FLUMING OF NOMINATED EXHAUST FAN,
RHODD OR CEILING VENT INDICATED ON PLAN BY: 
- F NOT SHOWN REFER TO ELEVATION FOR ROOF OR
WALL VENT LOCATION

ROOF INSULATION NOTE
- R4.0 CEILING INSULATION TO HOUSE, GARAGE & ANY
EXTERNAL PLASTERBOARD CEILINGS IF APPL.

ELECTRICAL NOTE
- INTERCONNECTED SMOKE DETECTORS TO COMPLY
WITH AS3785:2014 AS INDICATED ON PLAN 
- PROVIDE 3 PHASE POWER TO METERBOX

FIXING CARPENTER NOTE
- 4x4500 SHELVES AT 400 INCREMENTS TO PANTRY AND LINEN.
BOTTOM SHELF AT 500 AFL UNO
- 4500 SHELF & RAIL TO ALL WIR, ROBE & ROBE REC. 1700 AFL UNO
- 4500 SHELF AT 1700 AFL TO BROOM CUPBOARD, IF ANY



CEILING MATERIAL NOTE
- REFER TO APPENDIX FOR CEILING / EAVE LINING SELECTION

RENDER WALL NOTE
- PROVIDE BATTEN TO JUNCTIONS OF RENDERED
WALLS & FIBRE CEMENT CEILINGS

TRADES / SUPERVISOR NOTE
- REFER TO STRUCTURAL ENGINEERS DETAILS
- ALL PLANS TO BE READ IN CONJUNCTION WITH
ENGINEERS DRAWINGS & STANDARD SPECIFICATION.

DOOR NOTE
- TOILET DOOR TO COMPLY W/ CLAUSE 3.8.3.3 OF B.C.A VOL. 2
- ALL DOOR & DOOR HARDWARE AS PER ADDENDUM

PLUMBER NOTE
- NO HOBS TO SHOWERS UNLESS SHOWN OTHERWISE.
- PLUMBER TO INSTALL REFLUX VALVE.
- FINAL FLOOR WASTE LOCATIONS TO PLUMBERS DISCRETION.

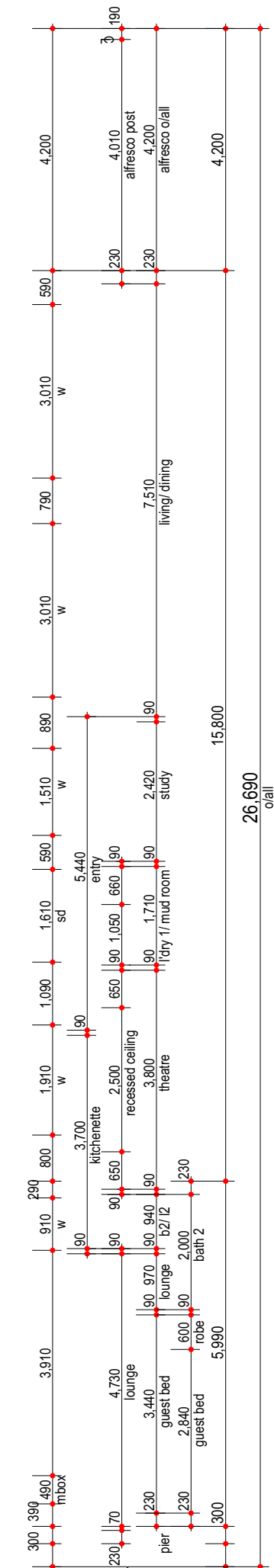
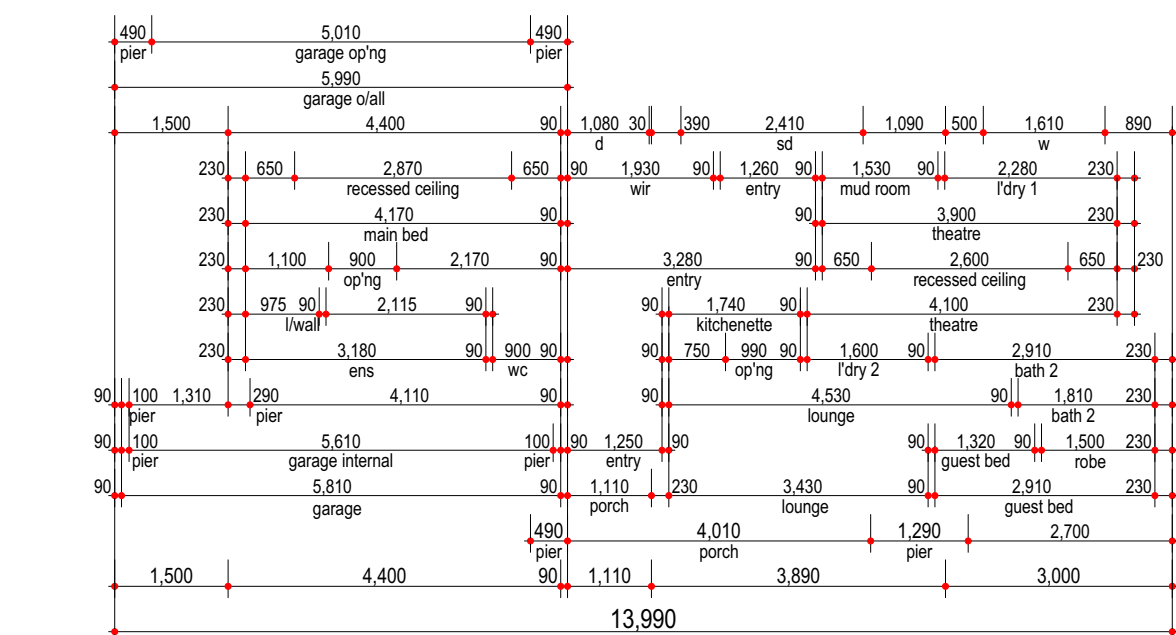
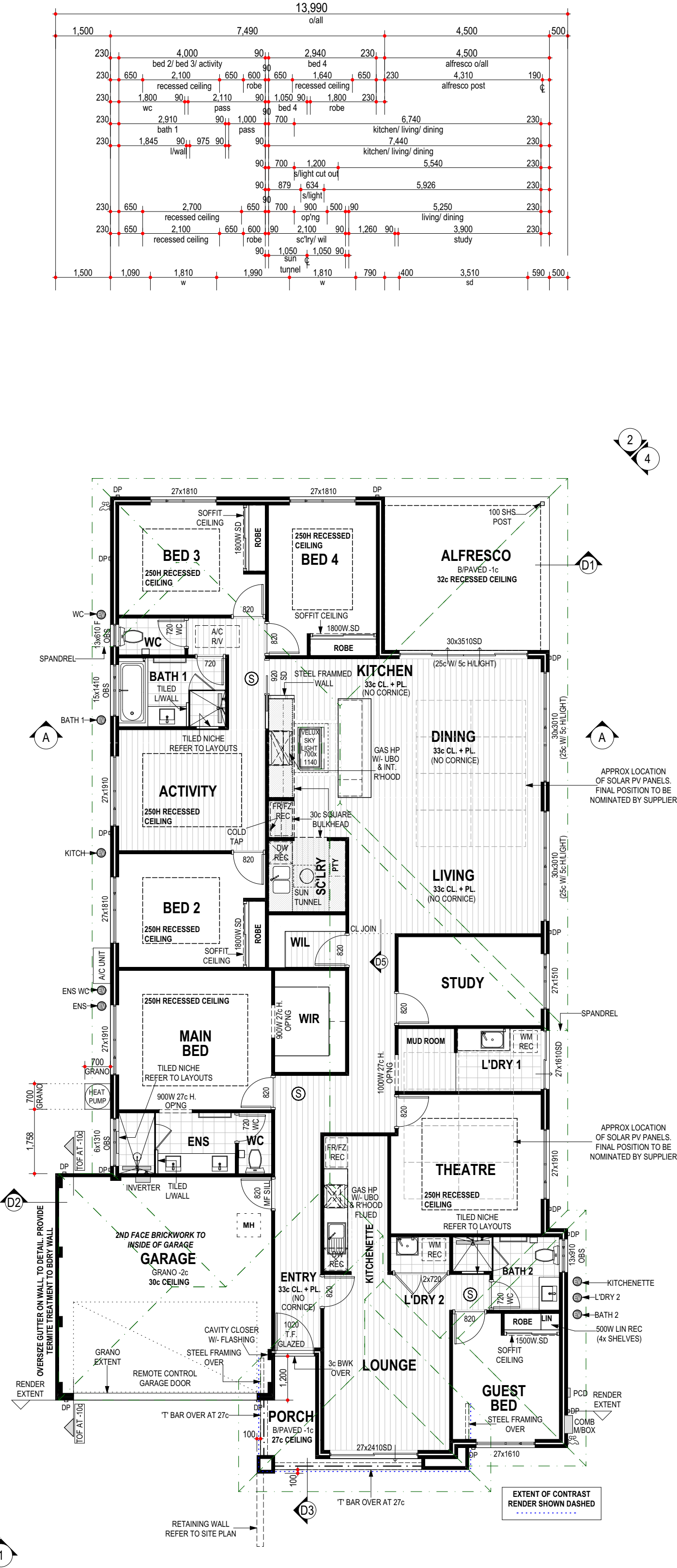
GARAGE NOTE
- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OPNG

CONCRETOR/BRK LAYER NOTE
- ALL ISOLATED PIERS AND POSTS TO HAVE FOOTINGS
- AT 4c UNLESS NOTED OTHERWISE

PLASTERBOARD NOTE
- PROVIDE PLASTERBOARD TO ALL INTERNAL WALLS
UNLESS NOTED OTHERWISE

AIRCON NOTE
- PROVIDE REVERSE CYCLE AIR CONDITIONING.
- OUTLET POSITIONS TO BE NOMINATED BY SUPPLIER. FINAL
LOCATION SUBJECT TO STRUCTURAL ROOF MEMBERS.
- EXTERNAL UNIT NOT TO BE VISIBLE FROM THE STREET.
- EXTERNAL A/C UNIT TO BE HUNG FROM BRACKETS OR
GROUND MOUNTED AS DIRECTED BY A/C SUPPLIER. EXTERNAL
UNIT SHOWN INDICATIVE ONLY.

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PROVIDE MAIN FLOORING TO LIVING,
DINING, KITCHEN, SCULLERY, MUD ROOM,
WIL, ACTIVITY, KITCHENETTE, LOUNGE,
ENTRY & BED PASS
HATCH SHOWN IS INDICATIVE ONLY
PROVIDE CARPET TO ALL BEDROOMS (INC.
ROBES) STUDY & THEATRE
PROVIDE BLINDS THROUGHOUT
(EXCLUDING WET AREAS)
PROVIDE INTERNAL WALL PAINTING
THROUGHOUT

FLOOR PLAN		
	Area m ²	Perim
FLOOR PLAN	261.32	77.56
GARAGE	36.23	24.36
ALFRESCO	18.90	17.40
PORCH	4.90	15.00
ROOF	321.35 m ²	
	358.72	

PROPOSED RESIDENCE FOR:
Y. TSE

ADDRESS:
LOT 160 (#10) ST KILDA ROAD
RIVERVALE

BUILT AROUND PEOPLE

DRAWN: GCA
DESIGNED: MON
CHECKED: SNL
DATE: 08.04.25
MODEL: ONE OFF

SCALE: 1:100
SHEET: 1 OF 11
SIZE: A2
NEW HOMES
JOB N°
171429

Issue Name Drawn Date Issue Name Drawn Date

FLOOR PLAN

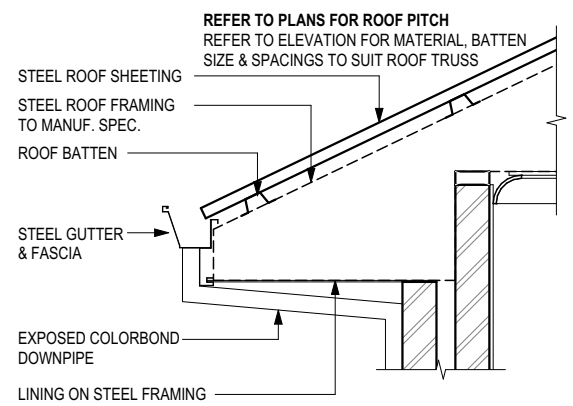


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BUILD | RENOVATE | DEVELOP

COLORBOND ROOF, PITCH AT 25° W/ 500W EAVES UNO
- STEEL ROOF IN ACCORDANCE TO NASH STANDARD
- CEILINGS AT 30c + PLATE UNLESS NOTED OTHERWISE

WINDOW SUPPLIER NOTE
- SHADED WINDOWS INDICATES OBSCURE GLAZING
- GLAZING DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS1288



NOTES:

- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- STEEL ROOF CONSTRUCTED IN ACCORDANCE TO MANUFACTURER'S SPEC.
- SCALE 1 : 20

Date: **CITY OF BELMONT**
RECEIVED
04/20/2025
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