

CITY OF BELMONT

Development Application Submission Form

This submission form is provided for your convenience. There is no obligation to make a submission. If you wish to make a submission, please complete this form and email to: planning@belmont.wa.gov.au or post to: City of Belmont, Locked Bag 379, Cloverdale WA 6985.

Written submissions should be lodged with the City within the required comment period. If no comments are received by the closing date, we will assume that you have no comment you wish to make and the application will be assessed and determined on its merits and without any further consultation.

Please note also that although submissions will assist the City in making a determination on the application, they should not be construed as the sole basis for the City's decision. The application will be determined on the relevant planning merits and the City may not agree with all or part of your submission.

DEVELOPMENT APPLICATION DETAILS	
DA Number:	115/2024
Property Address:	373 Acton Avenue KEWDALE 6105 (Lot 54 PL 6355)
Proposed Development:	Addition of Granny Flat & Garage
Zoning:	Residential R20
Enquiries:	Planning Officer, Lauren Cook 9477 7239

DETAILS OF PERSON(S) MAKING SUBMISSION			
<input type="checkbox"/> I am an Owner and Occupier or <input type="checkbox"/> I am an Owner or <input type="checkbox"/> I am an Occupier			
Name(s):			
Affected Address:			
Postal Address: (if different to above address)			
Telephone No:		Email:	
Signature:		Date:	

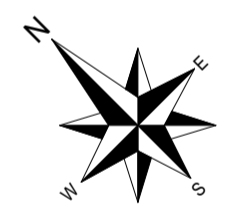
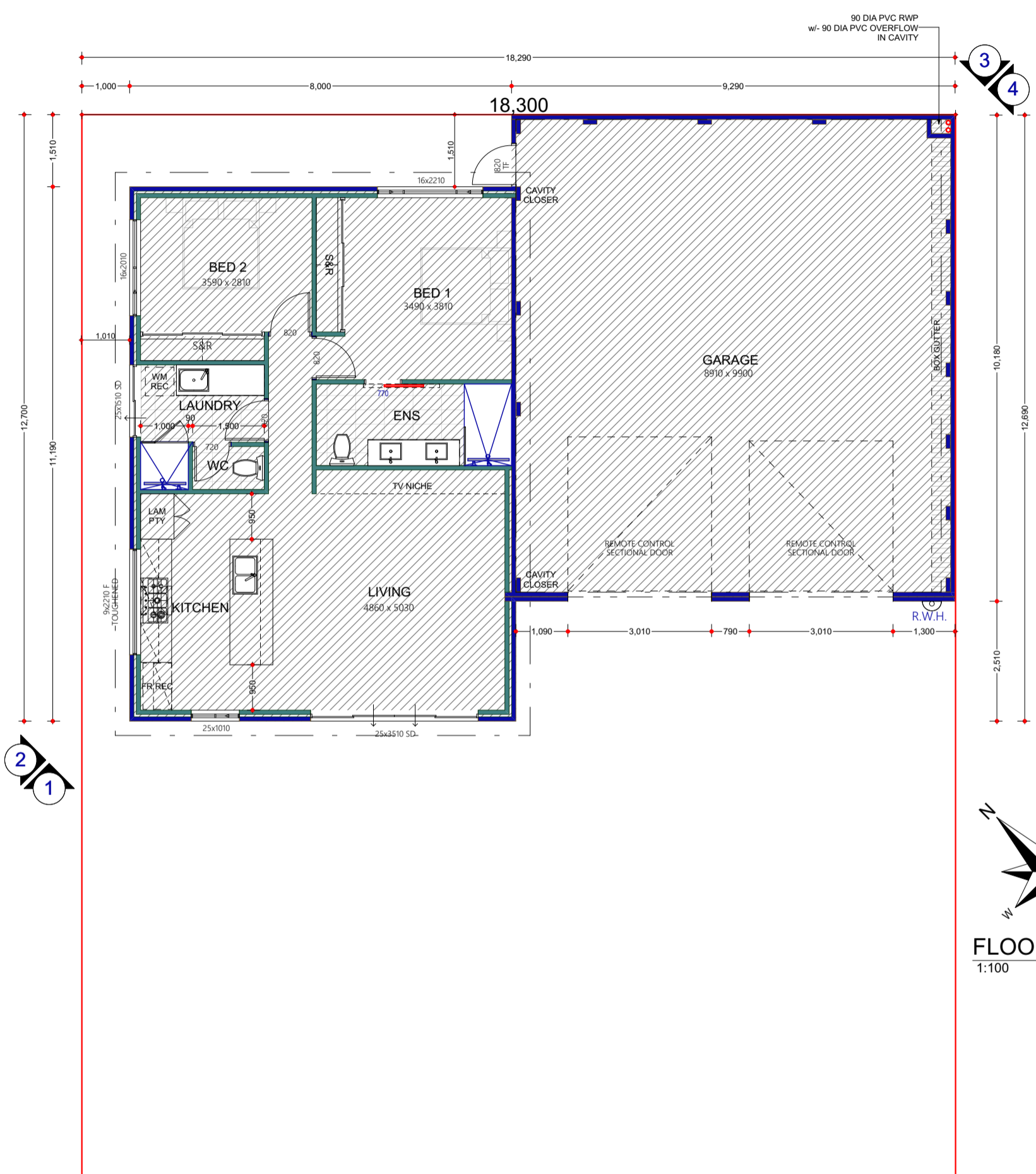
Note: submissions should be based on planning merit. A 'How to Make a Submission on a Town Planning Proposal' fact sheet is available for viewing from: www.belmont.wa.gov.au.

Submission:

Additional lines over page. Attach additional sheets if required.


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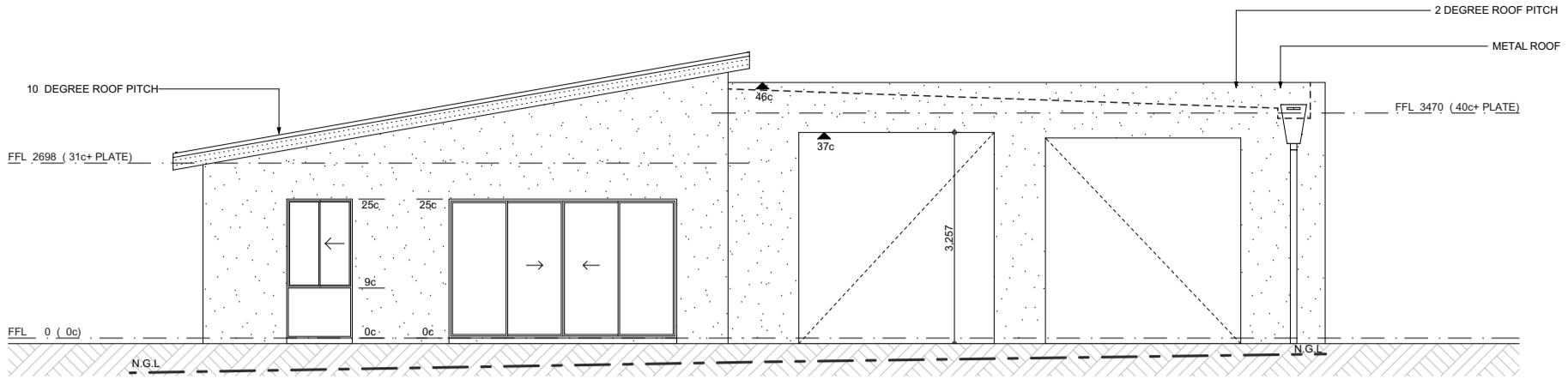
NOTES	
CONCEPT SKETCH ONLY DESIGN SUBJECT TO LOCAL COUNCIL & DEVELOPER APPROVAL	
PLANNING REQUIRED	
STORMWATER REQUIREMENTS	
SOAKWELLS	REQUIRED
PROPOSED GRANNY AREAS	
HOUSE:	90.527m ²
GARAGE:	93.70m ²



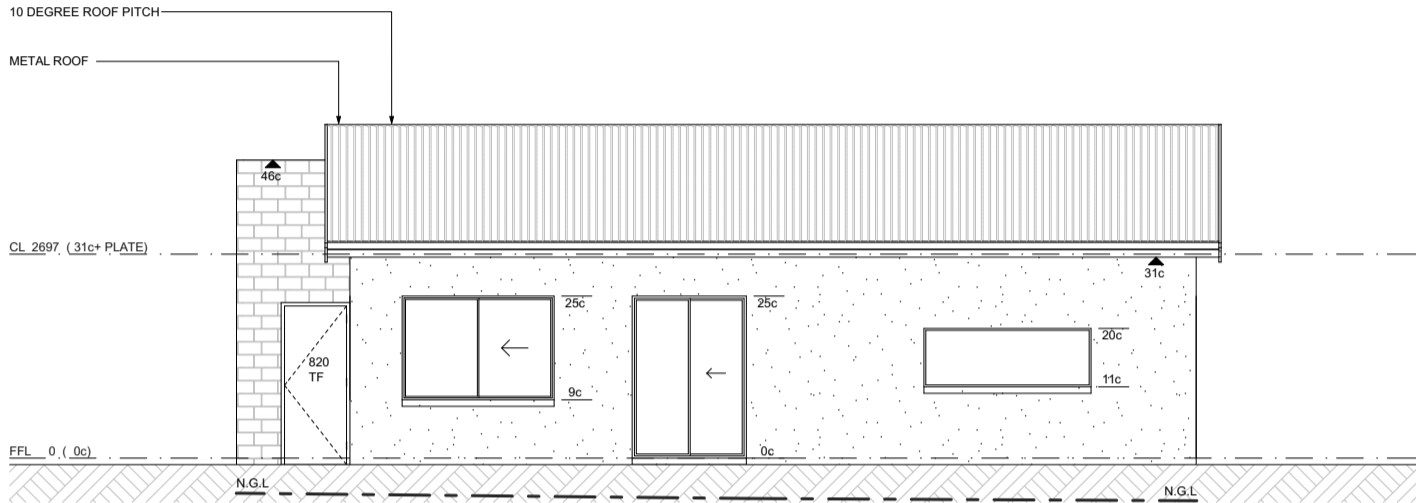
FLOOR PLAN
1:100

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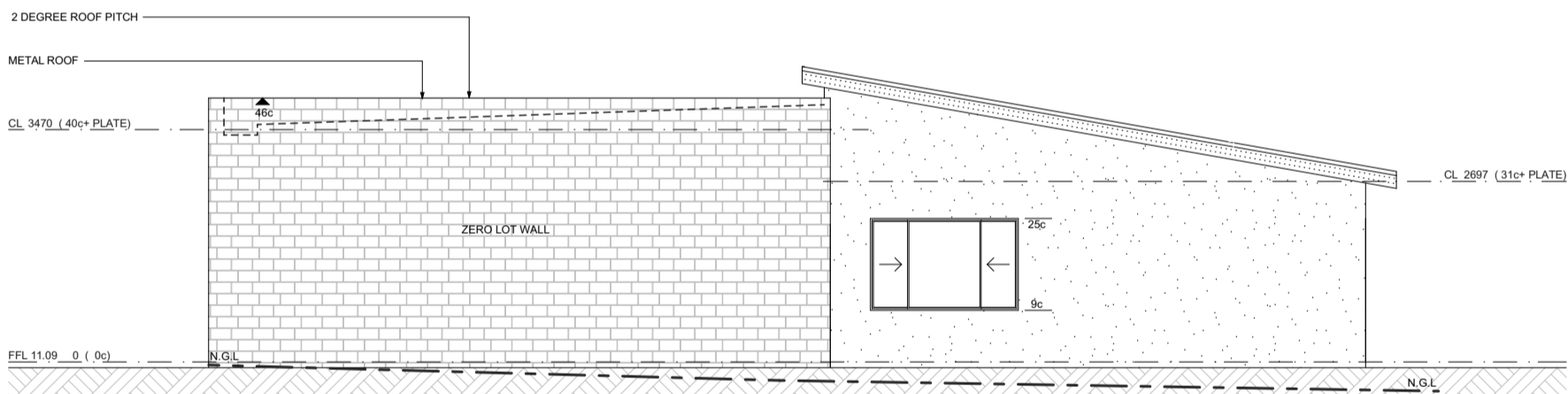
 DISTINCT DESIGN & DRAFTING 26c HINDMARSH AVENUE YOKINE WA 6060 M: 0422 177 094 E: distinctdd@gmail.com W: www.distinctdesignanddrafting.com.au	<table border="1"> <thead> <tr> <th>ID</th> <th>DESCRIPTION</th> <th>DRAWN</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>DESIGN - V1</td> <td>JF</td> <td>14.02.24</td> </tr> <tr> <td>2</td> <td>DA/DRAWING</td> <td>JF</td> <td>25.03.24</td> </tr> </tbody> </table>	ID	DESCRIPTION	DRAWN	DATE	1	DESIGN - V1	JF	14.02.24	2	DA/DRAWING	JF	25.03.24	<p>NOTE: BCA REGULATION IN REGARDS TO ENERGY EFFICIENCY REQUIREMENTS TO NEW DWELLINGS MAY ALTER THIS DESIGN</p> <p><i>This plan is COPYRIGHT UNDER DISTINCT DESIGN & DRAFTING. Reproduction of this plan is illegal without the written permission of DISTINCT DESIGN & DRAFTING.</i></p>	PROJECT NO: DD0142	HOUSE TYPE: INDIVIDUAL DESIGN
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2	DA/DRAWING	JF	25.03.24													
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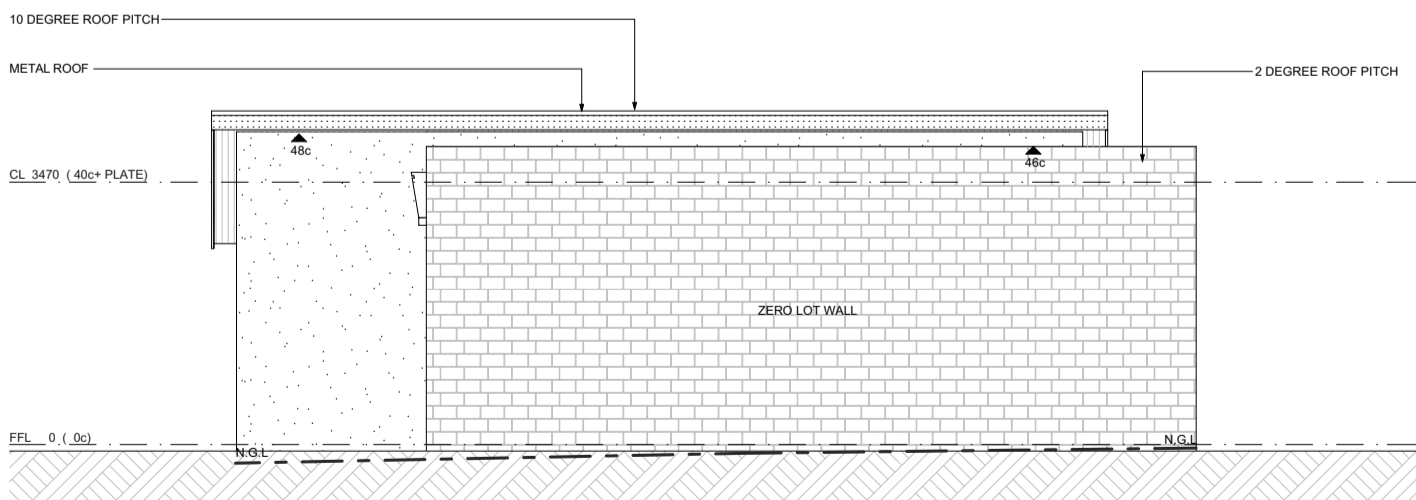
ELEVATION 1
1:100



ELEVATION 2
1:100




ELEVATION 3
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ELEVATION 4
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	2	DA/DRAWING	JF	25.03.24		DESIGN BY: JF	SITE ADDRESS: ACTON AVENUE, KEWDALE

⊕	SEC Dome
⊖	Power Pole
⊕	Phone Pits
⊕	Water Conn.
[TP 10.00]	Top Pillar/Post
[TW 10.00]	Top Wall
[TR 10.00]	Top Retaining
[TF 10.00]	Top Fence

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

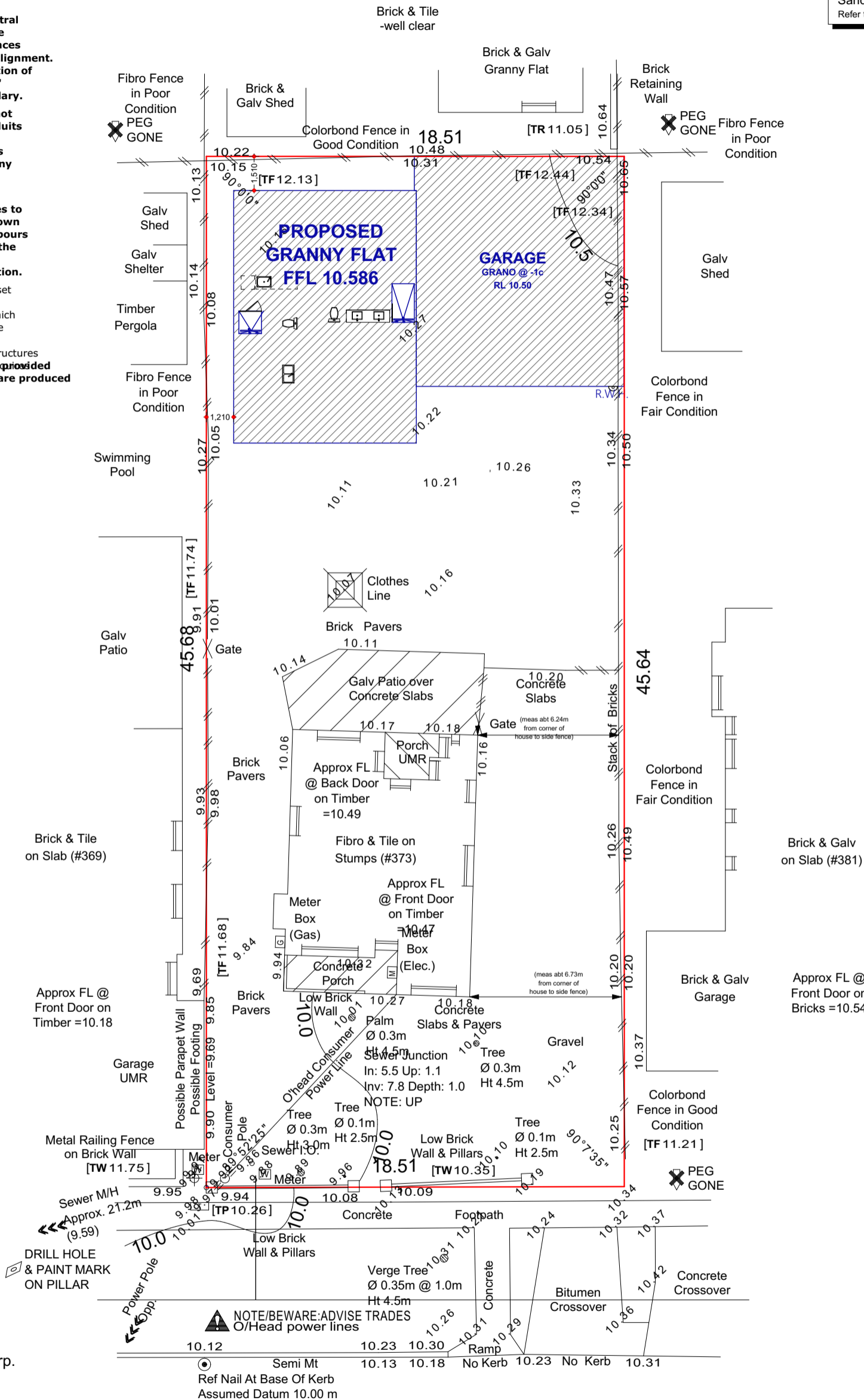
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DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

DISCLAIMER:
 Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment and are to be verified when repegged. Any design that involves additions to any structures shown or portion of structures boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

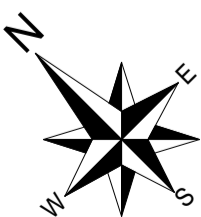
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LOT MISCLOSE	
0.001 m	
SOIL DESCRIPTION	
Sand	
Refer to Survey	



NOTE:
 Sewer Pressure Main In Verge. Check Water Corp.

NOTE/BEWARE: ADVISE TRADES
 O/Head power lines



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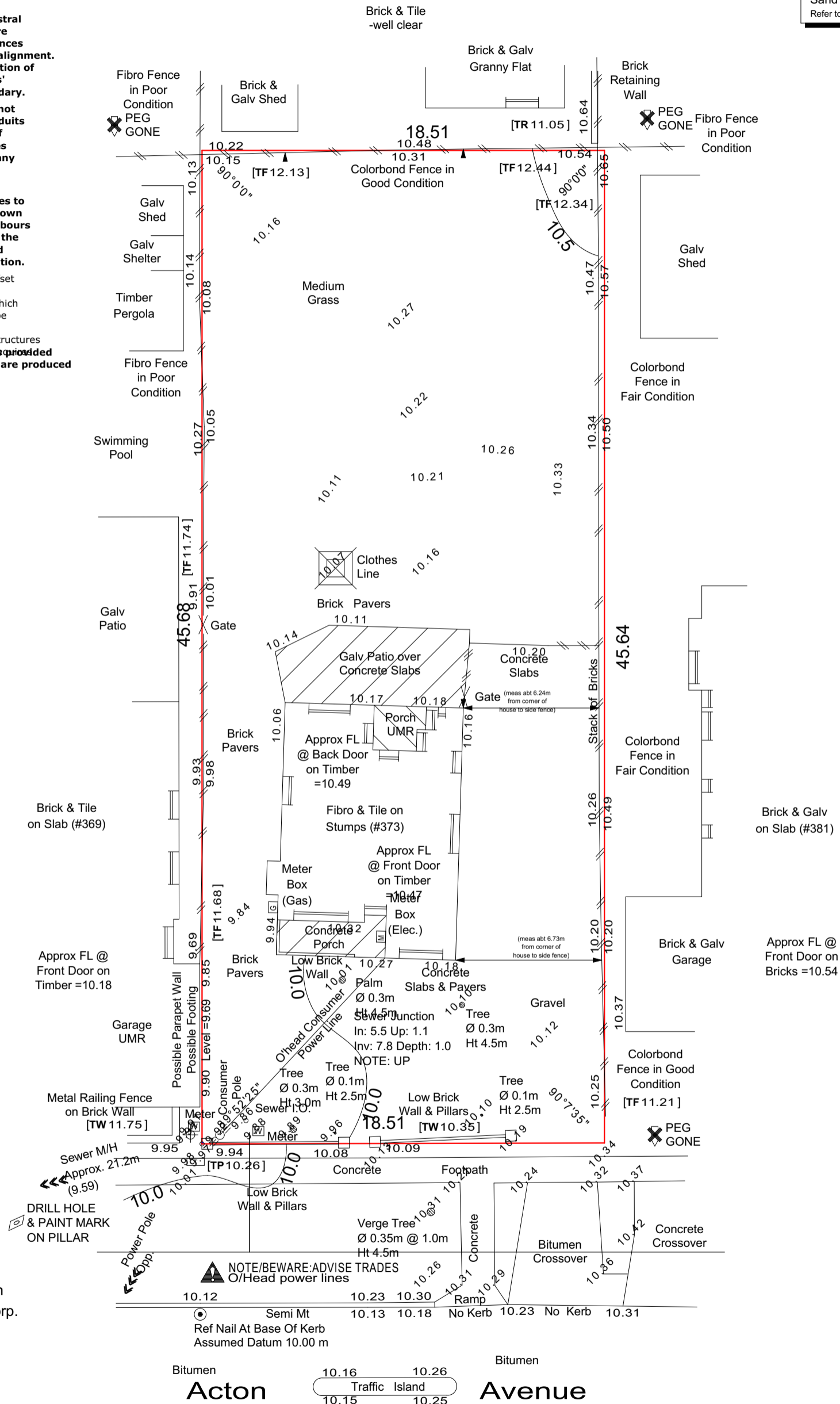
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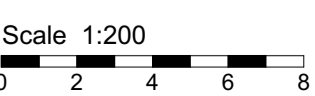
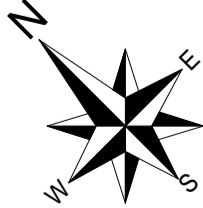
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