

Development Application Submission Form

This submission form is provided for your convenience. There is no obligation to make a submission. If you wish to make a submission, please complete this form and email to: planning@belmont.wa.gov.au or post to: City of Belmont, Locked Bag 379, Cloverdale WA 6985.

Written submissions should be lodged with the City within the required comment period. If no comments are received by the closing date, we will assume that you have no comment you wish to make and the application will be assessed and determined on its merits and without any further consultation.

Please note also that although submissions will assist the City in making a determination on the application, they should not be construed as the sole basis for the City's decision. The application will be determined on the relevant planning merits and the City may not agree with all or part of your submission.

DEVELOPMENT APPLICATION DETAILS	
DA Number:	12/2025
Property Address:	7 Newey Street RIVERVALE 6103 (St Lot 2 SP 84803)
Proposed Development:	Single House
Zoning:	Residential R20
Enquiries:	Planning Officer, Penny Wallis 9477 7504

DETAILS OF PERSON(S) MAKING SUBMISSION			
<input type="checkbox"/> I am an Owner and Occupier or <input type="checkbox"/> I am an Owner or <input type="checkbox"/> I am an Occupier			
Name(s):			
Affected Address:			
Postal Address: (if different to above address)			
Telephone No:		Email:	
Signature:		Date:	

Note: submissions should be based on planning merit. A 'How to Make a Submission on a Town Planning Proposal' fact sheet is available for viewing from: www.belmont.wa.gov.au.

Submission:

Additional lines over page. Attach additional sheets if required.

CITY OF BELMONT
 RECEIVED
 10/01/2025
 Application No: 12/2025

NOTES:

- Ceiling insulation (min. R4.0) to all ceilings throughout.
- Wall insulation (min. dble sided reflective insulated foil) to all external brick cavity wall on Ground Floor
- R2.0 wall insulation to all first floor external & internal walls
- R3.0 Sipform (EPS) cladding to first floor external wall
- Floor insulation to the entire first floor
- Anticon below all roof sheeting
- Thermal Broken Double Glazing windows & s/doors throughout both floors excluding Laundry, Entry, Bath, WC, Balcony & Ensuite
- U-value: 3.5 or lower SHGC value: 0.64 or within 5%
- Tiles / Polished Conc./ Timber / Vinyl floor covers to Entry, Living, Dining, Kitchen & firstfloor passage
- All downlights to be IC-4 rated

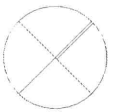
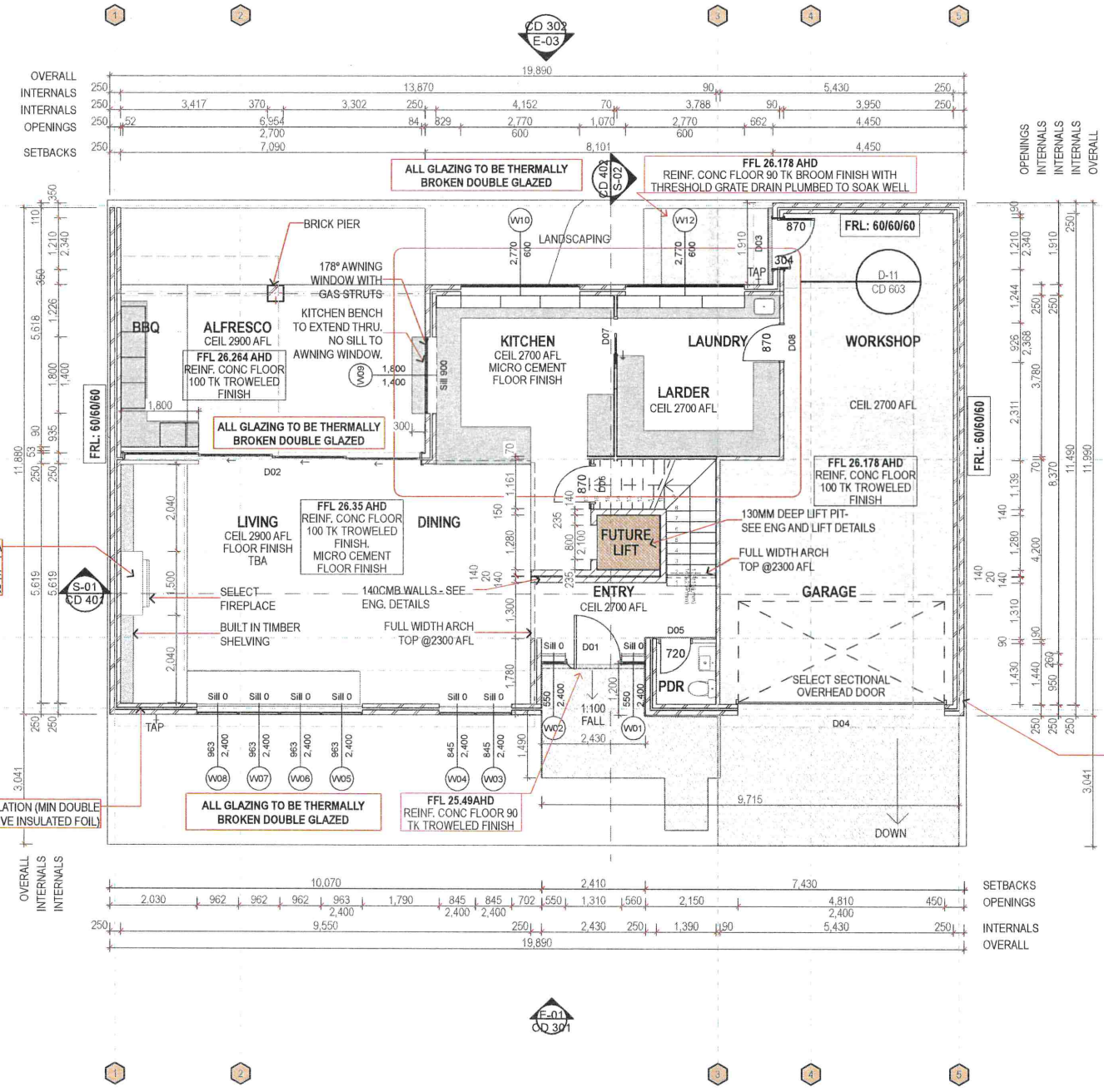
OPENABLE WINDOWS NOTE:

ALL AWNING WINDOWS ARE TO HAVE OPENING RESTRICTORS INSTALLED TO ALLOW A MAX. 120MM OPENING.

ALL OTHER TYPES OPENABLE WINDOWS TO BE FITTED WITH A SCREEN BARRIER WITH SECURE FITTINGS.

NOTE:

ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERS PLANS. DESIGNER TO BE NOTIFIED IF ANY DISCREPANCIES ARE FOUND.



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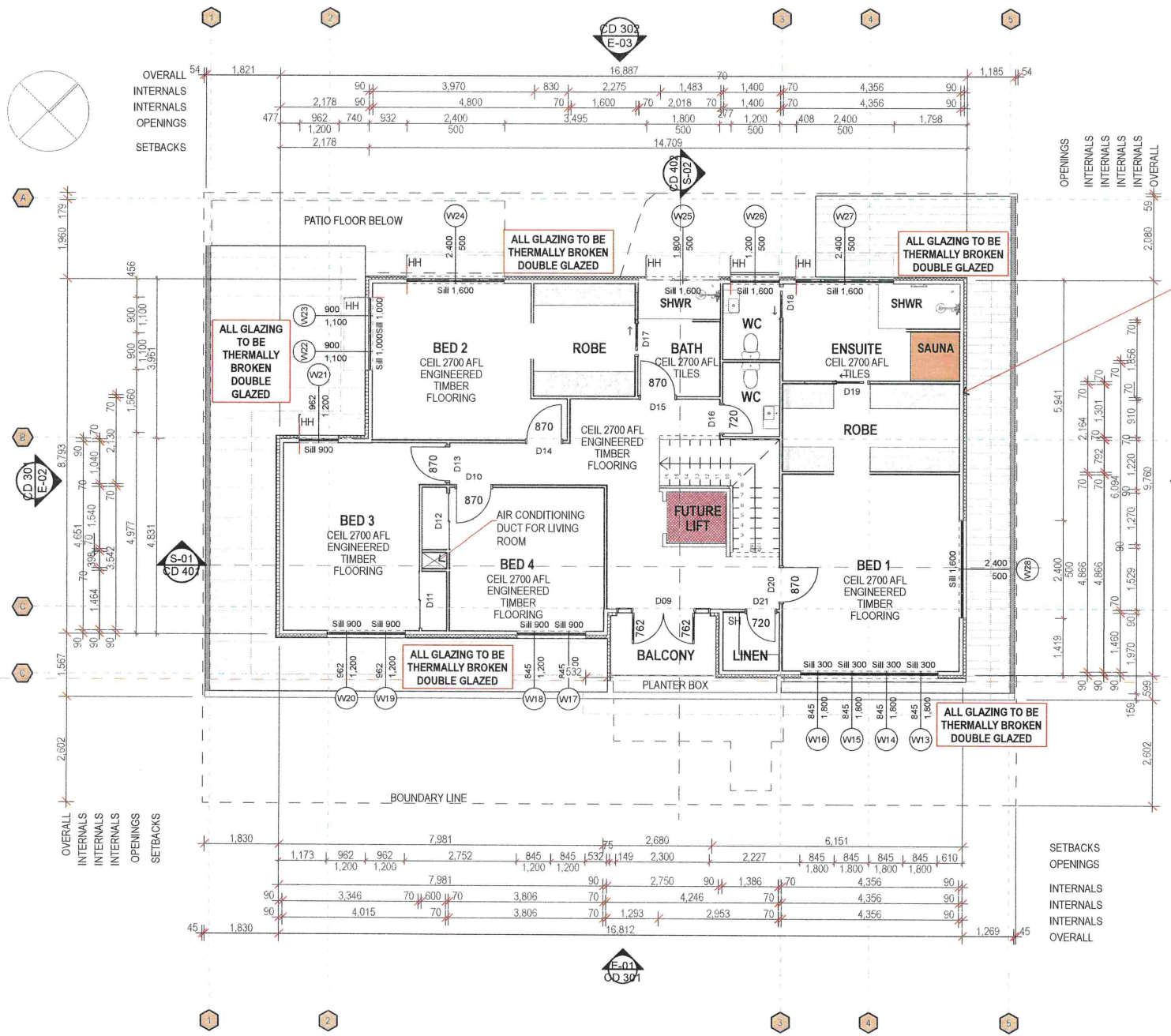
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NOTE:

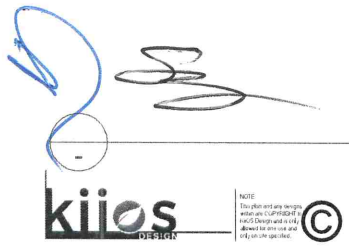
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R3.0 SIPFORM (EPS) CLADDING WITH R2.0 WALL INSULATION TO ALL FIRST FLOOR EXTERNAL WALLS



UPPER FLOOR PLAN
 1:100



PROJECT NAME
 CLIENT

SITE
 7 NEWNEY STREET RIVERVALE
 PERTH WA
 COUNCIL
 BELMONT CITY COUNCIL

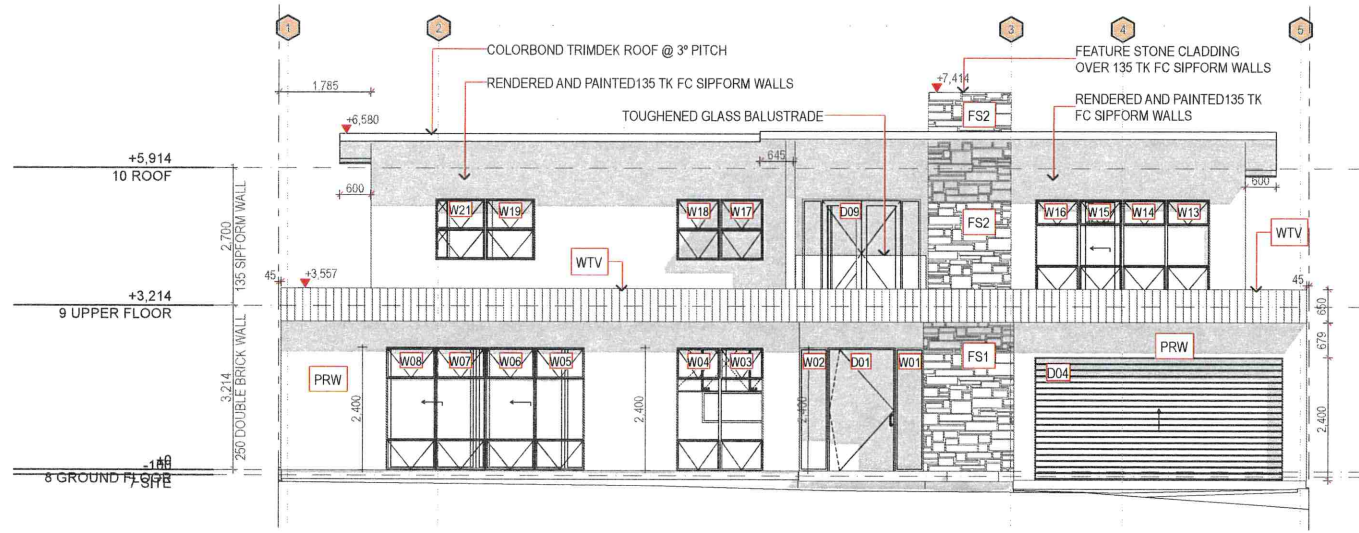
DRAWING TITLE
UPPER FLOOR PLAN

REVISIONS
 CD REV 2.2
 PLT DATE: 5/6/2024

SCALE
 1:100 @ A3 C2

CD 203

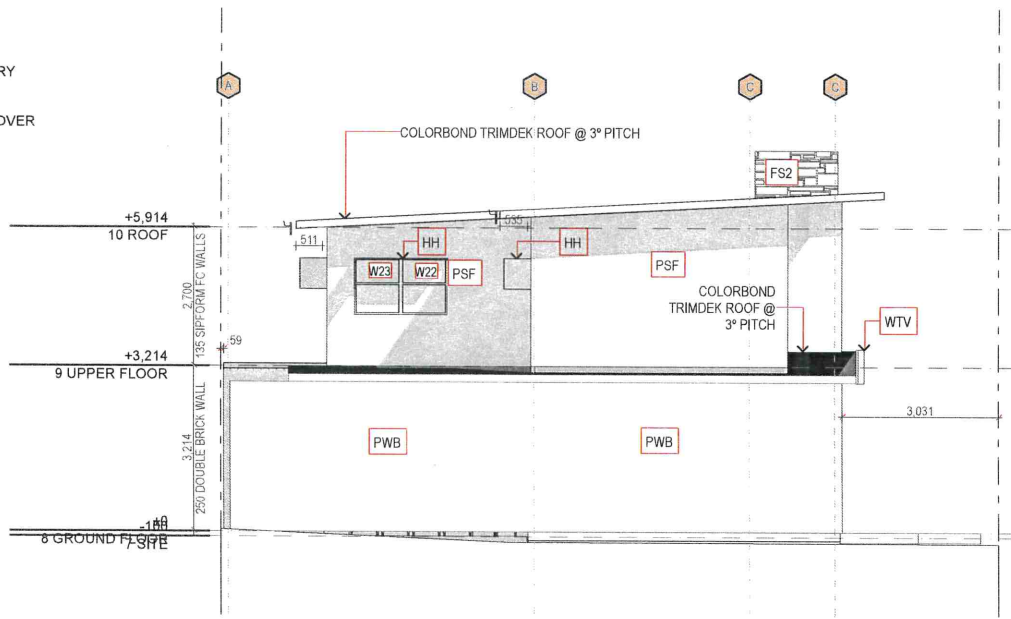
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E-01

WEST ELEVATION (1)
 1:100

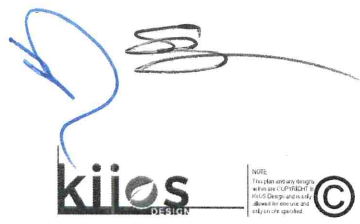
- HH HEKA HOOD WINDOW AWNING
- FS1 FEATURE STONEWORK ON BRICK
- FS2 FEATURE STONEWORK ON SIPFORM WALL
- PWB PAINTED RENDERED BRICK WALL ON BOUNDARY
- PRW PAINTED RENDERED BRICK WALL
- PSF PAINTED RENDERED SIPFORM WALL
- WTV WEATHERTEX SELFLOK VGROOVE CLADDING OVER
- GB TOUGHENED GLASS BALUSTRADE



E-02

SOUTH ELEVATION
 1:100

NOTE:
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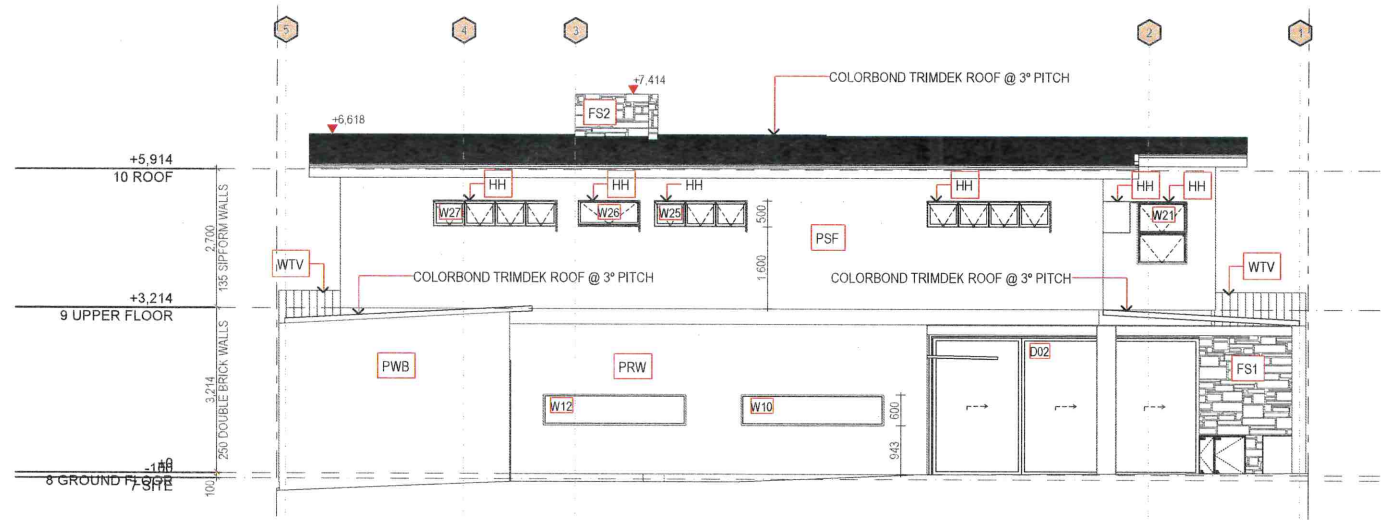
DRAWING TITLE
ELEVATIONS

REVISIONS
 CD REV 2.2
 PROJECT DATE 5/9/2024

SCALE
 1:100 @ A3 C2

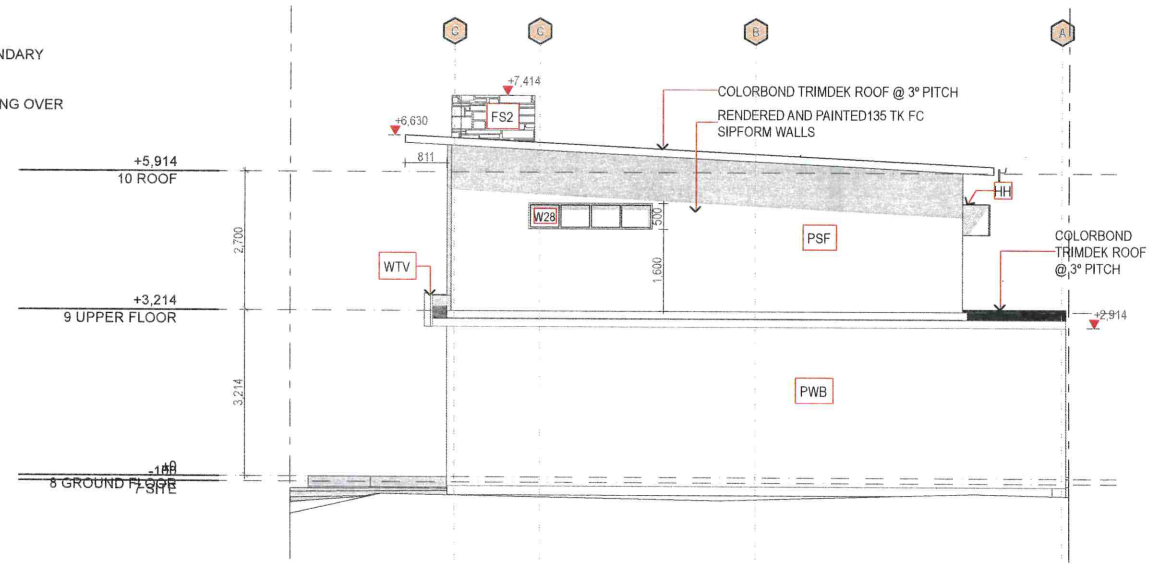
CD 301

CITY OF BELMONT
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 Application No: 12/2025



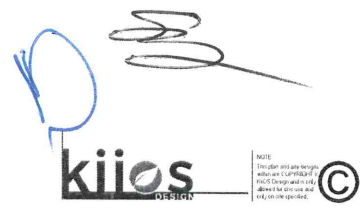
E-03 WEST ELEVATION
 1:100

HH	HEKA HOOD WINDOW AWNING
FS1	FEATURE STONework ON BRICK
FS2	FEATURE STONework ON SIPFORM WALL
PWB	PAINTED RENDERED BRICK WALL ON BOUNDARY
PRW	PAINTED RENDERED BRICK WALL
PSF	PAINTED RENDERED SIPFORM WALL
WTV	WEATHERTEX SELFLOK VGROOVE CLADDING OVER
GB	TOUGHENED GLASS BALUSTRADE



E-04 NORTH ELEVATION
 1:100

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 CLIENT

SITE
 7 NEWY STREET RIVERVALE
 PERTH WA
 COUNCIL
 BELMONT CITY COUNCIL

DRAWING TITLE
ELEVATIONS

REVISIONS
 CD REV 2.2
 PLT DATE: 05/2024

PROJECT NO.
 SCALE

WIND CLASSIFICATION
 @ A3 C2

DRAWN BY

CD 302

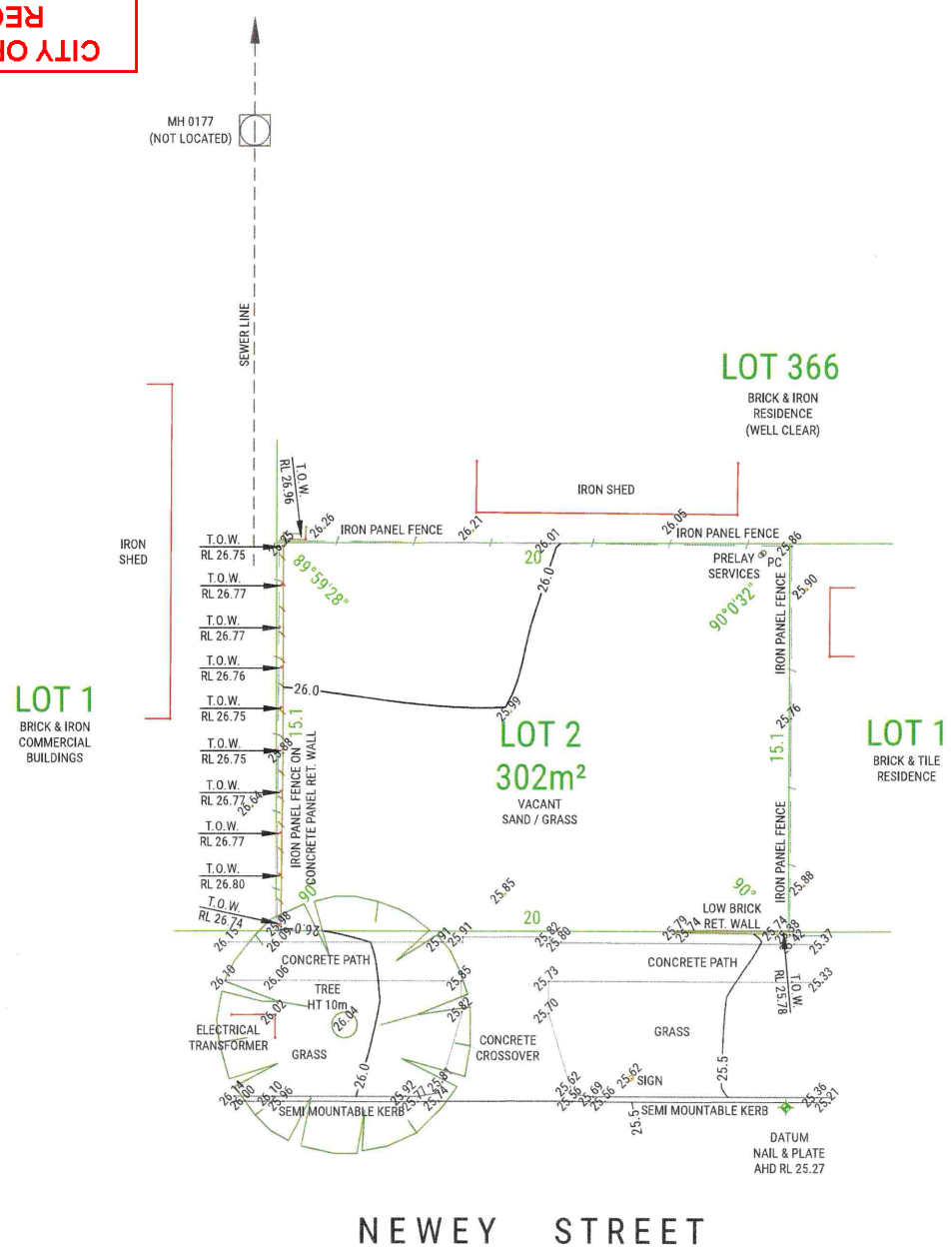
SERVICE RECORD			
STATUS	LOCATED	AVAILABLE	CONFIRM
WATER		✓	✓
SEWERAGE		✓	✓
GAS		✓	✓
TEL / COMM		✓	✓
POWER	U/G		✓
	O/H		

SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION AND / OR AVAILABILITY ON SITE.

SEWER AND WATER INFORMATION SHOWN HAS BEEN TAKEN FROM THE WATER CORP. ONLINE DATABASE.

SERVICE LEGEND			
DRAINAGE			
COMBO PIT / GRATE			
SIDE ENTRY / STORM WATER MANHOLE			
ELECTRICITY			
CABLE MANHOLE			
CABLE PIT / BOX			
CABLE DOME			
CONSUMER POLE		CP	
LIGHT POLE		LP	
POWER POLE		PP	
STAY POLE		SP	
STAY WIRE ANCHOR		SWA	
O/H POWER LINE			
GAS			
GAS MANHOLE			
GAS MARKER		G	
GAS METER		GM	
GAS VALVE		GV	
SEWERAGE			
SEWER MANHOLE			
PROPERTY CONNECTION		PC	
SEWER LINE			
TELECOMMUNICATION			
TEL / COMMS MANHOLE		T	
TEL / COMMS MARKER		C	
TEL / COMMS PIT		PIT	
TEL / COMMS COM		COM	
WATER			
FLUSH POINT		FP	
HYDRANT		HY	
STOP VALVE		SV	
TAP		TAP	
WATER MARKER		W	
WATER METER		M	
WATER LINE			
SURVEY			
DATUM			
PEG FOUND		PF	
OTHER			
AWNING / EAVES			
ROOF RIDGE			
FLOOR RL			
WINDOW		1ST	
BANK - BOTTOM			
BANK - TOP			

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NEWNEY STREET

NOTE:
THE INTERNAL SEWER POSITION IS UNKNOWN AS IT IS SERVICED BY THE INTERNAL STRATA CONTROLLED SEWER. IF FURTHER INFORMATION IS REQUIRED PLEASE ENQUIRE WITH THE WATER CORPORATION.

CLIENT : [REDACTED]	LOT : 2 (# 7) NEWNEY STREET		
SUBURB: RIVERVALE	AUTHORITY: CITY OF BELMONT		
PLAN: SP 84803	C/T: 4033/131	SURVEYED BY: MC	ON: 07/03/2024
DRAWN BY: MR	ON: 09/03/2024	HOR DATUM: LOCAL	VERT DATUM: AHD
SCALE: 1:200	0 2.5 5 10 15		

C/S CARLTON SURVEYS
 LICENSED LAND SURVEYORS

CARLTON SURVEYS
 SUITE 4, 160 BURSWOOD ROAD,
 BURSWOOD, W.A., 6100.
 TEL 9361 5358 FAX 9361 3457
 E-mail: carlton@carlton-surveys.com.au

JOB NUMBER: [REDACTED] DRAWING NUMBER: 001 REV: A

NOTES: The information shown on this plan is current as at the date of survey. Boundary information, assessments etc. to be verified with the Council or other relevant authorities. Boundary position approximate only unless noted otherwise. Location of boundary pegs or fences in relation to the boundary lines are not guaranteed. Sewer / Drainage may vary from schematic presentation. Clearances to be checked on site. Services information to be confirmed with relevant AUTHORITIES. For unexcavated services, a 600mm AL BEFORE YOU DIG or equivalent is to be used.

NOTE:
APPROXIMATE AHD LEVEL DERIVED FROM SEWERAGE MANHOLE 0175

WARNING!
BOUNDARY RE-ESTABLISHMENT SURVEY REQUIRED TO CONFIRM LOT BOUNDARY POSITION AND DIMENSIONS.