

Development Application Submission Form

This submission form is provided for your convenience. There is no obligation to make a submission. If you wish to make a submission, please complete this form and email to: planning@belmont.wa.gov.au or post to: City of Belmont, Locked Bag 379, Cloverdale WA 6985.

Written submissions should be lodged with the City within the required comment period. If no comments are received by the closing date, we will assume that you have no comment you wish to make and the application will be assessed and determined on its merits and without any further consultation.

Please note also that although submissions will assist the City in making a determination on the application, they should not be construed as the sole basis for the City's decision. The application will be determined on the relevant planning merits and the City may not agree with all or part of your submission.

DEVELOPMENT APPLICATION DETAILS	
DA Number:	98/2025
Property Address:	159 Abernethy Road BELMONT 6104 (Lot 15 DIA 52345)
Proposed Development:	Addition to Warehouse/Office - Distillery ('Use Not Listed')
Zoning:	Mixed Business
Enquiries:	Planning Officer, Lauren Cook 9477 7239

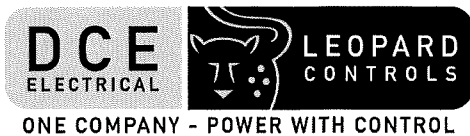
DETAILS OF PERSON(S) MAKING SUBMISSION			
<input type="checkbox"/> I am an Owner and Occupier or <input type="checkbox"/> I am an Owner or <input type="checkbox"/> I am an Occupier			
Name(s):			
Affected Address:			
Postal Address: (if different to above address)			
Telephone No:		Email:	
Signature:		Date:	

Note: submissions should be based on planning merit. A 'How to Make a Submission on a Town Planning Proposal' fact sheet is available for viewing from: www.belmont.wa.gov.au.

Submission:

Additional lines over page. Attach additional sheets if required.

[illegible]



DCE Electrical | Leopard Controls
159 Abernethy Road, Belmont WA 6104

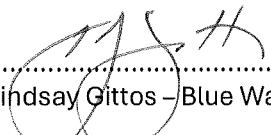
T: 08 9277 2233 ABN: 82 109 054 462

10/03/2025

To City of Belmont,

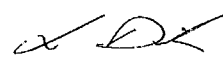
We, the owners of 159 Abernethy Rd Belmont, give authorisation to George Roy Distilling for the construction of a room and usage of, for the purpose of a distillery, at 159 Abernethy Rd, Belmont.

Signed



.....
Lindsay Gittos – Blue Water Super Pty Ltd
Signed


.....
Denise Gittos – Blue Water Super Pty Ltd

Signed


.....
Lindsay Dick – Riverwell Nominees Pty Ltd

Signed


.....
Lisa Dick – Riverwell Nominees Pty Ltd

**CITY OF BELMONT
RECEIVED
12/03/2025
Application No: 98/2025**



WESTERN



AUSTRALIA

TITLE NUMBER

Volume

Folio

1506

649

RECORD OF CERTIFICATE OF TITLE

UNDER THE TRANSFER OF LAND ACT 1893

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 15 ON DIAGRAM 52345

REGISTERED PROPRIETOR: (FIRST SCHEDULE)

RIVERWELL NOMINEES PTY LTD
BLUE WATER SUPER PTY LTD
BOTH OF 47 OUTRAM STREET WEST PERTH WA 6005
AS TENANTS IN COMMON IN EQUAL SHARES

(T P299801) REGISTERED 28/9/2022

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS: (SECOND SCHEDULE)

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 1506-649 (15/D52345)
PREVIOUS TITLE: 1506-648
PROPERTY STREET ADDRESS: 159 ABERNETHY RD, BELMONT.
LOCAL GOVERNMENT AUTHORITY: CITY OF BELMONT

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To City of Belmont,

The below is a written submission to accompany the Development Application documents submission to shire.

Detailed Description of land use:

The proposed secure building is to be used as a small scale commercial distillery, housing a distillery, lockable cabinetry for ethanol storage, manual bottling facility and stainless steel benches etc.

Proposed Hours and Days of Operation:

The days and hours of operation will be 8 hours for 1 day per week.

Maximum Number of employees at any one time:

Majority of the time will be one employee with a second required on a very rare occasion, if any.

Maximum Number of Expected Visitors/Customers/Clients at the premises at any given time:

Nil

Any Equipment to be used:

Distillery equipment, see attached FF-GEORGE-RevB-GA drawing in submission

All other relevant information regarding the Land Use:

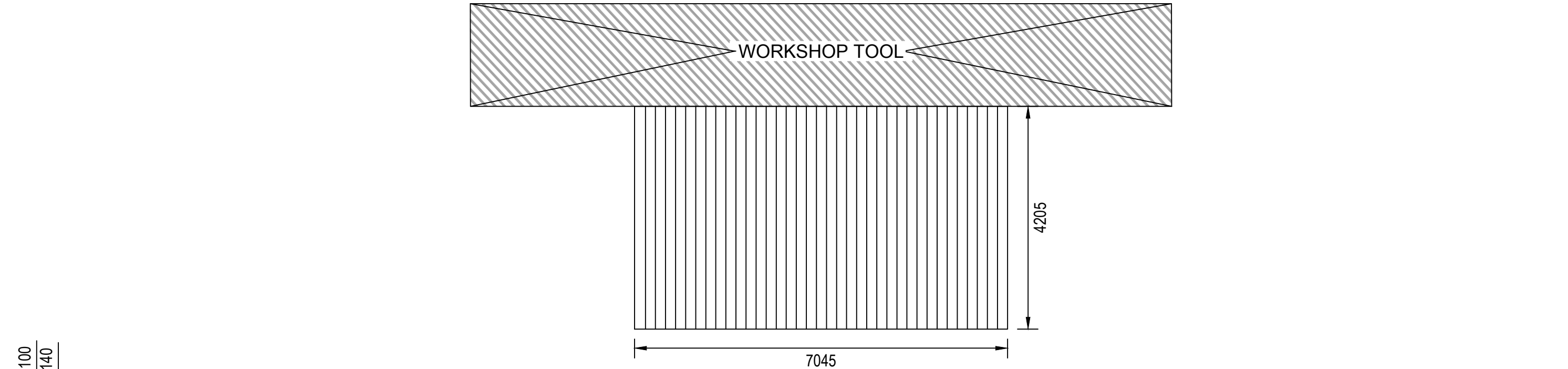
The area is at the rear of the property, on an enclosed side. Access is through an automated security gate and the pathway to the distillery area is monitored by approximately 8 cameras capable of remote access.

Yours Sincerely



Lindsay Dick
Director
George Roy Distilling Pty Ltd

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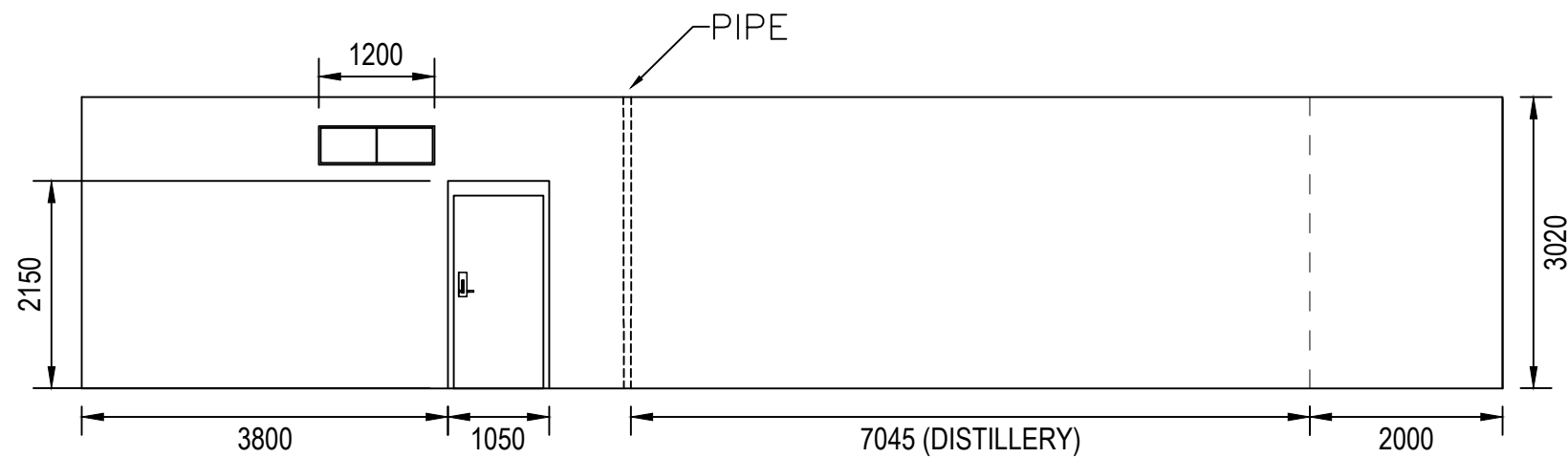


ROOF PLAN VIEW (DISTILLERY)

LEFT SIDE VIEW

FRONT ELEVATION


RIGHT SIDE VIEW

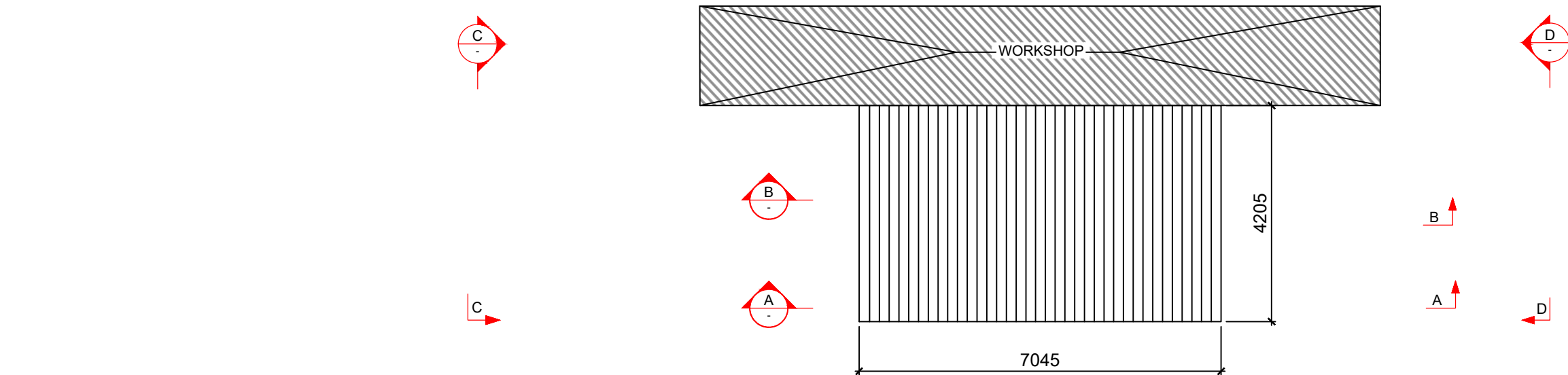


FRONT ELEVATION

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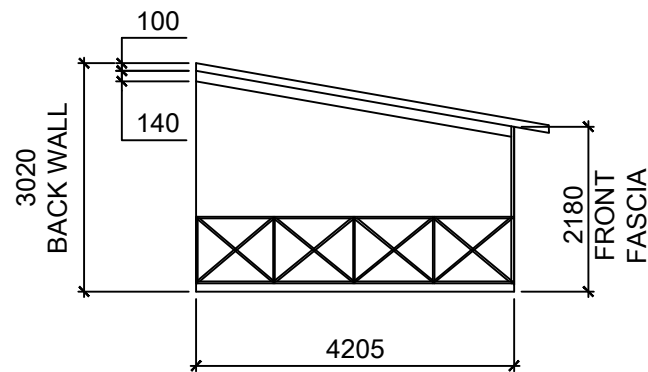
ELEVATION - DISTILLERY ROOM
SCALE: 1:75

REVISION	DESCRIPTION	DATE	APPROVED	HQ REAR DISTILLERY ROOM CONSTRUCTION 159 ABERNETHY ROAD, BELMONT, WA 6104	<div><div><div>DCE</div><div>ELECTRICAL</div></div><div>LEOPARD CONTROLS</div></div> <div>ONE COMPANY - POWER WITH CONTROL</div> <div>159 Abernethy Road, BELMONT, WA 6104 Tel. (08) 9277 2233, Fax. (08) 9277 7047 email: leopard@leopardcontrols.com.au</div>	DRAWN	L. HIBONO
A	DESIGN FOR APPROVAL	10/02/2025	L.DICK			CHECKED	L. DICK
0	FOR CONSTRUCTION	11/02/2025	L.DICK			DATE	10/02/2025
						REVISION	0
						SCALE	1:75
						SHEET	1
						DRG No.	41204_001

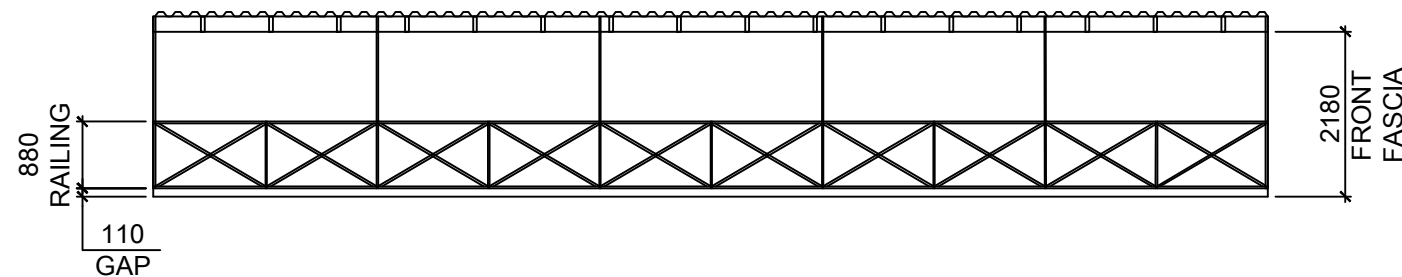


SITE PLAN

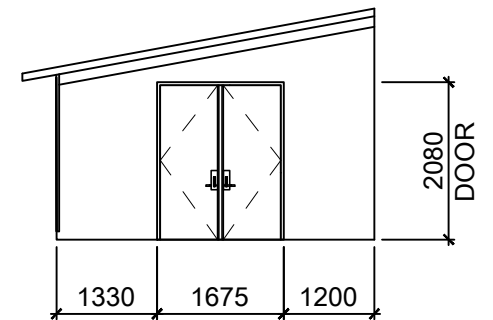
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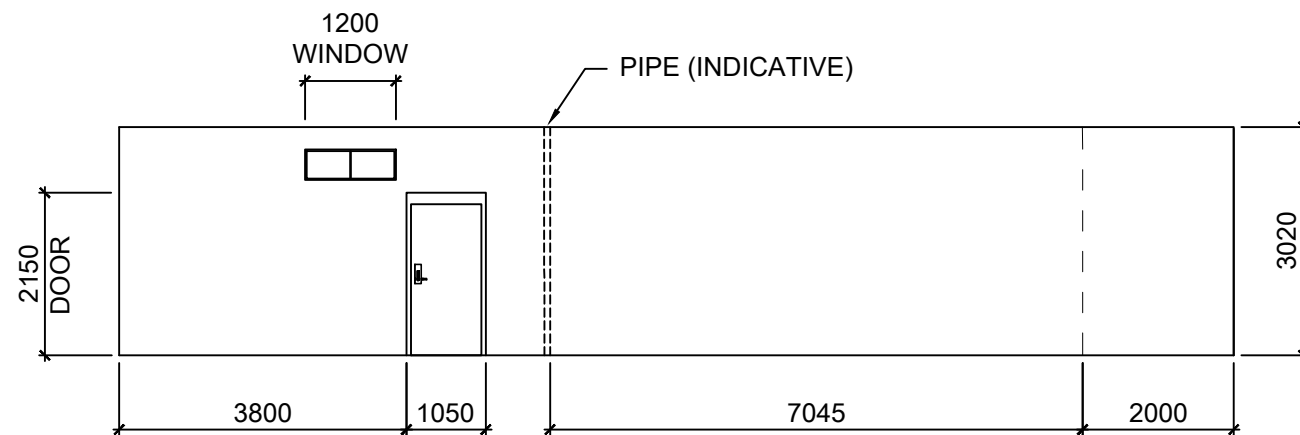
C ELEVATION
SCALE : 1:100



A ELEVATION
SCALE : 1:100



D ELEVATION
SCALE : 1:100



B ELEVATION
SCALE : 1:100

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0	FOR CONSTRUCTION	11/02/2025	L.DICK
1	FOR CONSTRUCTION - UPDATED ANNOTATION	17/02/2025	L.DICK

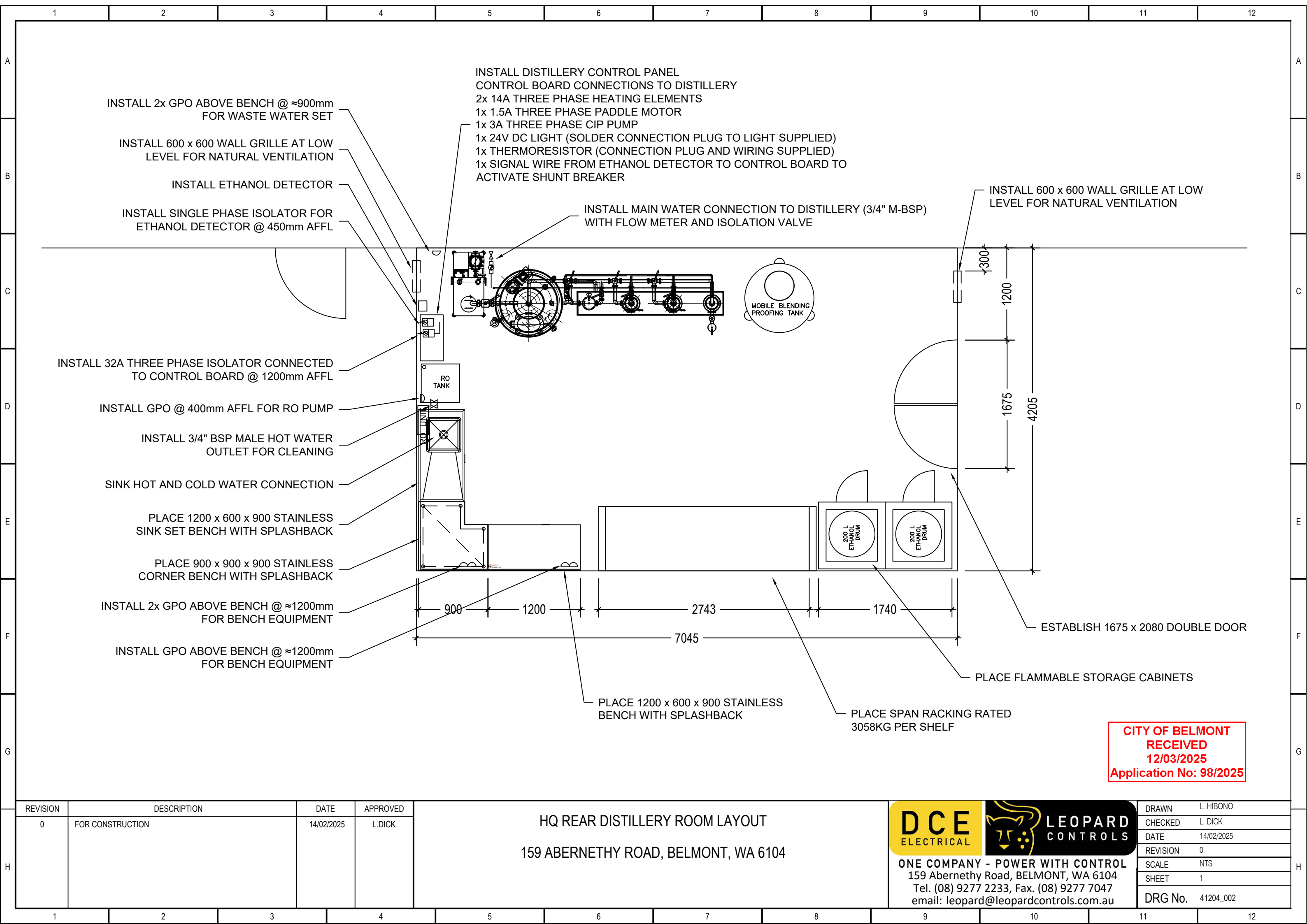
HQ REAR DISTILLERY ROOM CONSTRUCTION
159 ABERNETHY ROAD, BELMONT, WA 6104

DCE
ELECTRICAL

**LEOPARD**
CONTROLS

ONE COMPANY - POWER WITH CONTROL
159 Abernethy Road, BELMONT, WA 6104
Tel. (08) 9277 2233, Fax. (08) 9277 7047
email: leopard@leopardcontrols.com.au

DRAWN	L. HIBONO
CHECKED	L. DICK
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REVISION	1
SCALE	1:100
SHEET	1
DRG No.	41204_001



REVISION	DESCRIPTION	DATE	APPROVED
0	FOR CONSTRUCTION	14/02/2025	L.DICK

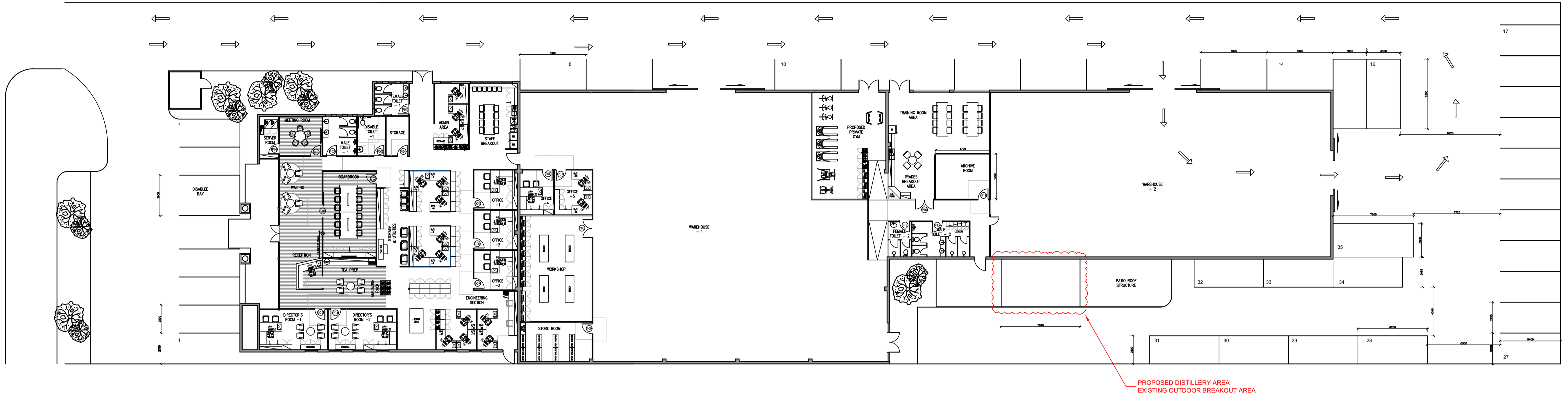
HQ REAR DISTILLERY ROOM LAYOUT
159 ABERNETHY ROAD, BELMONT, WA 6104

DCE
ELECTRICAL

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159 Abernethy Road, BELMONT, WA 6104
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email: leopard@leopardcontrols.com.au

DRAWN	L. HIBONO
CHECKED	L. DICK
DATE	14/02/2025
REVISION	0
SCALE	NTS
SHEET	1
DRG No.	41204_002



FLOOR PLAN
A01
SCALE 1:200 @ A1

LEGEND:	
	EXISTING STRUCTURAL WALLS TO REMAIN
	EXISTING PARTITION WALLS TO REMAIN
	NEW FULL HEIGHT SOLID PARTITION, 64mm STUD WITH 13mm GYPROCK EITHER SIDE WITH 50mm THICK POLYESTER INSULATION INTERNAL. PAINTED IN 2 COATS OF DULUX LOW SHEEN FINISH. COLOUR TO BE SPECIFIED.
	NEW FULL HEIGHT SOUND CHECK SOLID PARTITION TO 2400mm HIGH WITH DOUBLE GLAZED GLASS ABOVE TO CEILING, 64mm STUD WITH 13mm GYPROCK SOUND CHECK ON BOTH SIDE WITH 50mm THICK POLYESTER INSULATION INTERNAL. PAINTED IN 2 COATS OF DULUX LOW SHEEN FINISH. COLOUR TO BE SPECIFIED.
	NEW FULL HEIGHT GLAZED PARTITION WITH 45mm X 25mm CLEAR ANODISED ALUMINIUM FRAMES. SILICONE BUTT JOINTED. TO COMPLY WITH AUSTRALIAN STANDARDS 1288.
	NEW HALF HEIGHT SOLID PARTITION WALL TO 900mm HIGH WITH GLASS ABOVE TO CEILING

LEGEND:	
	INDICATES NEW ALUMINIUM FRAMED GLAZED DOORS. 920mm DOOR (850mm CLEAR DOOR OPENING) TO COMPLY WITH BUILDING CODE OF AUSTRALIA.
	920mm SOLID CORE DOORS (850mm CLEAR DOOR OPENING) TO COMPLY WITH BUILDING CODE OF AUSTRALIA. DOUBLE DOOR TO BE 1700mm CLEAR DOOR OPENING
	820mm HOLLOW CORE DOORS (750mm CLEAR DOOR OPENING) TO COMPLY WITH BUILDING CODE OF AUSTRALIA.
	INDICATES NEW ALUMINIUM FRAMED GLAZED SLIDING DOORS. 1200mm CLEAR DOOR OPENING.

NOTE:
GYM FLOORING – TO REUSE EXISTING CARPET
TILES FROM FRONT OF HOUSE

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GENERAL NOTE:
1. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SCHEDULES, SPECIFICATIONS, REPORTS AND SERVICES DRAWINGS
2. ALL WORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH THE BUILDING CODES OF AUSTRALIA (BCA), AND THE RELEVANT AUSTRALIAN STANDARDS
3. ALL WORKS ARE TO BE IN ACCORDANCE WITH AS1428.1-2001 AND AS1428.2-992 DESIGN FOR ACCESS AND MOBILITY
4. ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED ON SITE BEFORE PROCEEDING WITH WORK AND PRIOR TO THE ORDERING OF MATERIALS/MANUFACTURE OF ANY ITEMS
5. HEAD CONTRACTOR TO CO-ORDINATE WITH THE BUILDING OWNER FOR ALL SITE CONDITIONS, SITE ACCESS AND REQUIREMENTS. BUILDER TO CO-ORDINATE ALL SITE ACCESS INCLUDING MATERIALS DELIVERIES AS WELL AS ALL LOOSE FURNITURE AND EQUIPMENTS
6. HEAD CONTRACTOR IS TO ALLOW FOR AND PROVIDE ALL MATERIALS, LABOUR AND ACCESSORIES TO COMPLETE THE WORKS TO THE SPECIFIED PERFORMANCE AND DESIGN
7. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN
8. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE
9. BHO INTERIORS SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES
10. THIS DRAWING IS COPYRIGHT AND THE PROPERTY OF BHO INTERIORS; MAY NOT BE REPRODUCED, IN WHOLE OR IN PART, WITHOUT PRIOR WRITTEN CONSENT FROM BHO INTERIORS



REVISION:	DATE:	REASON:
SK1	21.08.2014	NEW ISSUE DRAWINGS
SK2	10.09.2014	REVISED TO CLIENT'S REQUIREMENTS
SK3	16.09.2014	REVISED TO CLIENT'S REQUIREMENTS
SK4	22.09.2014	ARCHIVE ROOM SIZE REVISED - BHO
SK5	06.03.2025	PROPOSED DISTILLERY ROOM ADDED
BRYAN HO bryan@bhointeriors.com 04 1221 6335 www.bhointeriors.com		

PROJECT TITLE:
DCE ELECTRICAL & LEOPARD CONTROL
157 ABERNETHY ROAD, BELMONT

CLIENT:
LINDSAY DICK & LINDSAY GITTOS

DESIGNED BY:
L. HIBONO

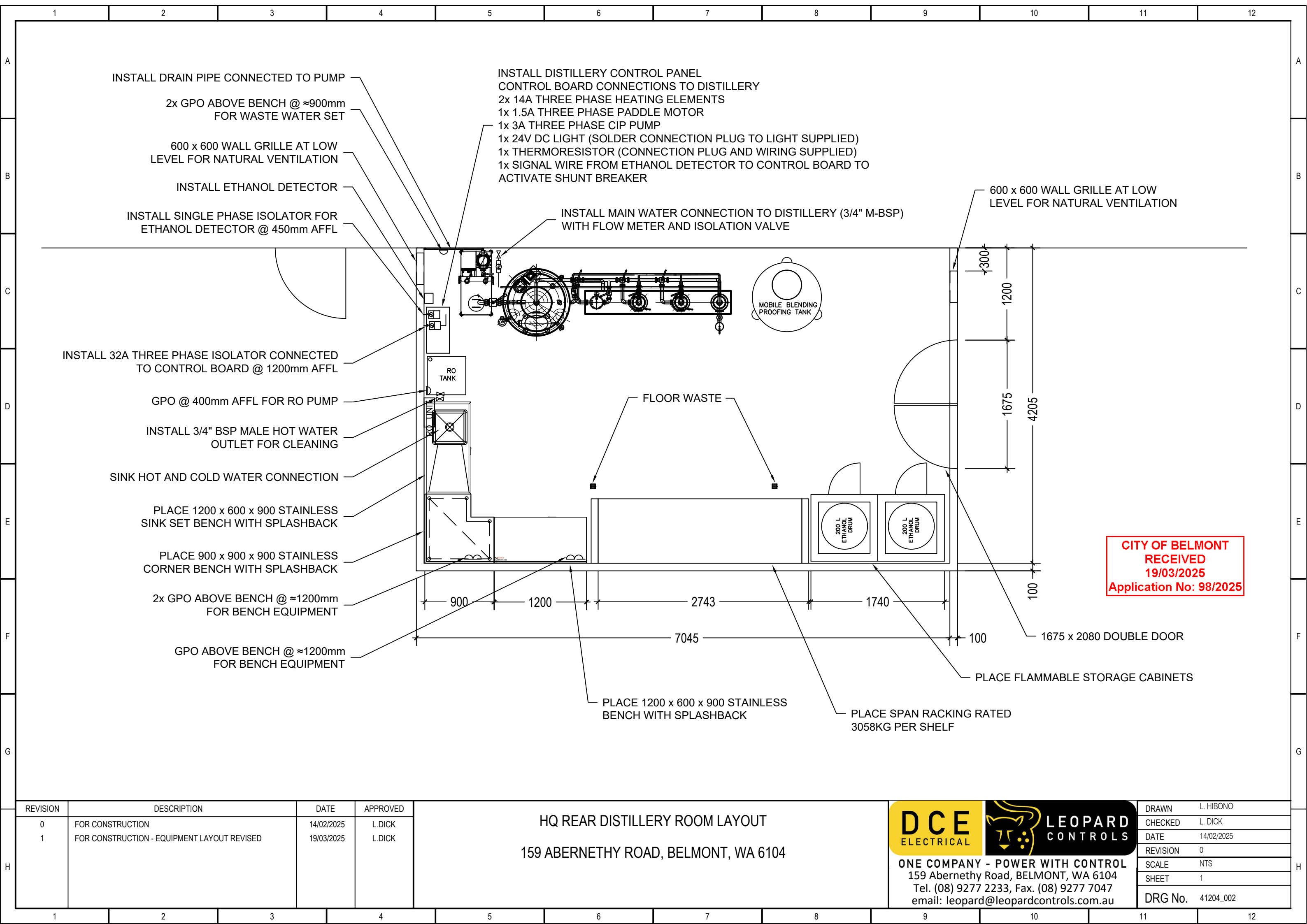
CHECKED BY:
S. JULIAN

APPROVED BY:

DRAWING TITLE:
DESIGN FLOOR PLAN

DRAWING NO.:
A01
SCALE:
1:200 @ A1

DATE:
06.03.2025
REVISION:
SK5



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0	FOR CONSTRUCTION	14/02/2025	L.DICK
1	FOR CONSTRUCTION - EQUIPMENT LAYOUT REVISED	19/03/2025	L.DICK

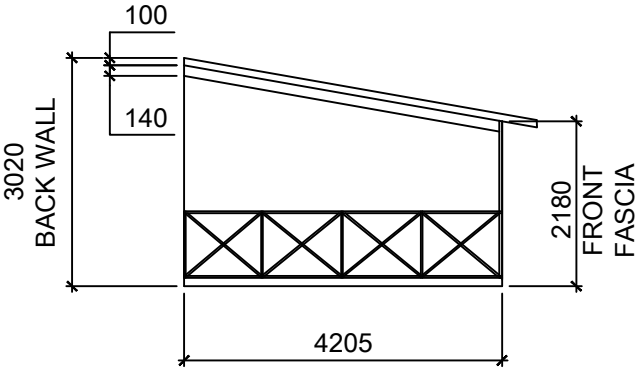
HQ REAR DISTILLERY ROOM LAYOUT
159 ABERNETHY ROAD, BELMONT, WA 6104

DCE
ELECTRICAL

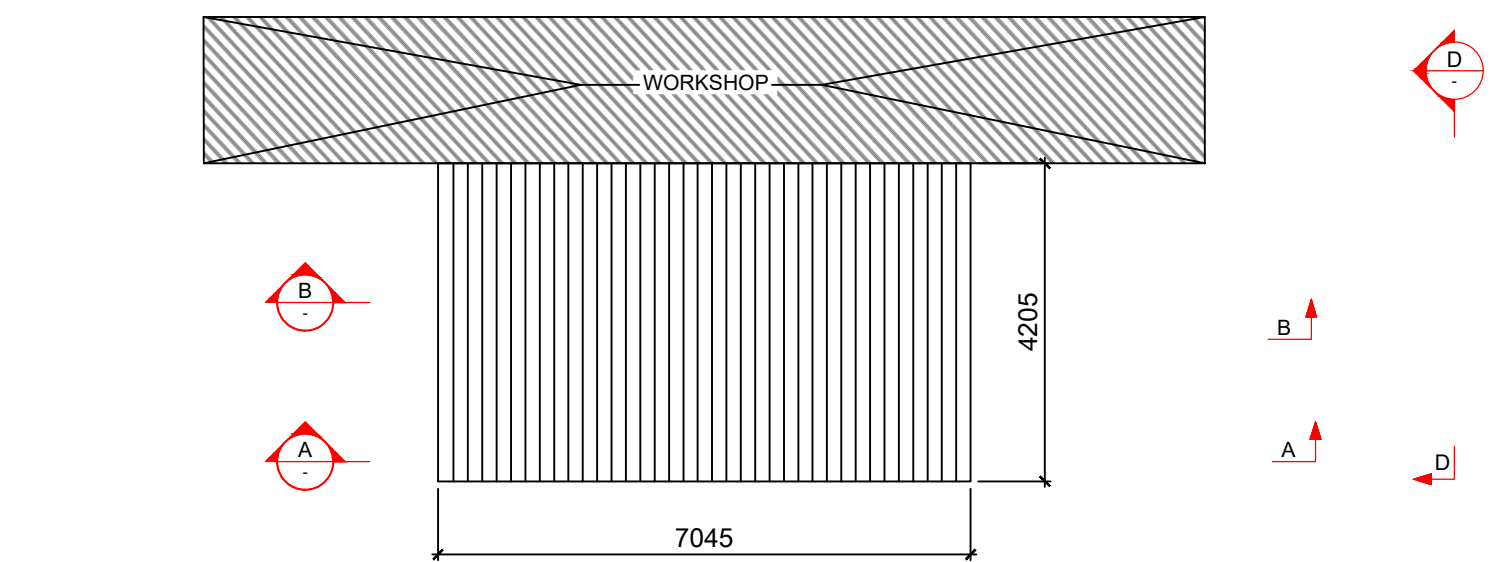
**LEOPARD**
CONTROLS

ONE COMPANY - POWER WITH CONTROL
159 Abernethy Road, BELMONT, WA 6104
Tel. (08) 9277 2233, Fax. (08) 9277 7047
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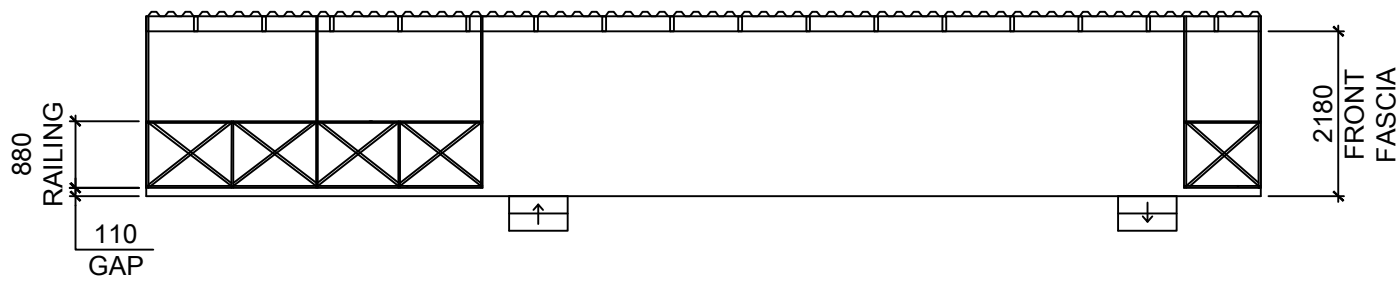
DRAWN	L. HIBONO
CHECKED	L. DICK
DATE	14/02/2025
REVISION	0
SCALE	NTS
SHEET	1
DRG No.	41204_002



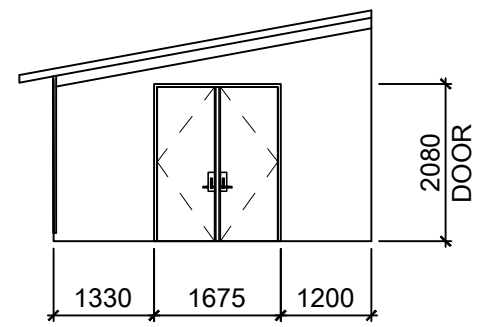
C ELEVATION
SCALE : 1:100



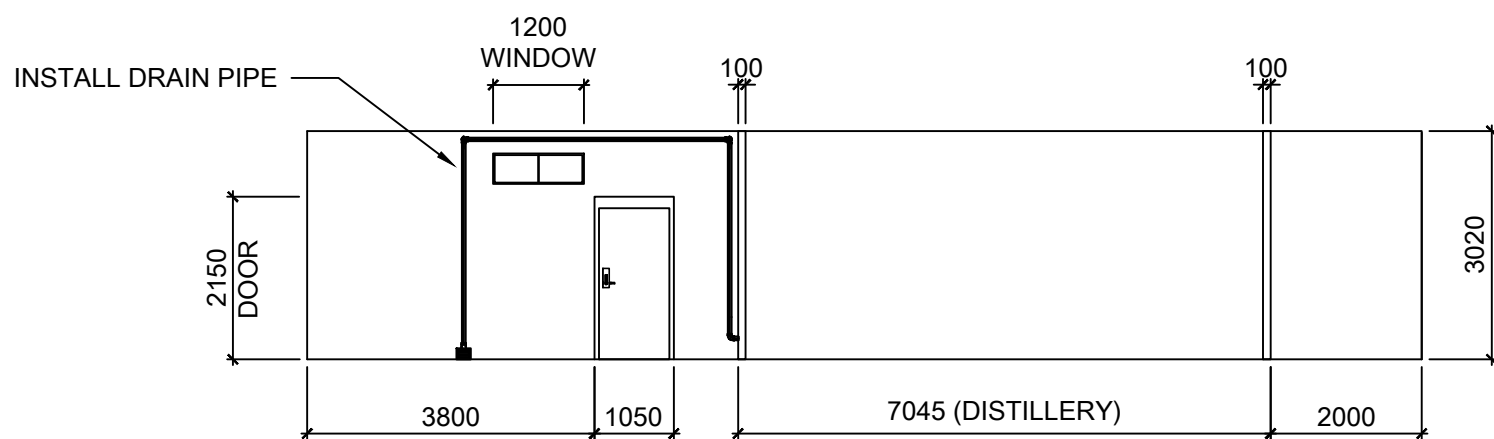
SITE PLAN
SCALE: 1:100



A ELEVATION
SCALE : 1:100



D ELEVATION
SCALE : 1:100



B ELEVATION
SCALE : 1:100

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