

# Development Application Submission Form

This submission form is provided for your convenience. There is no obligation to make a submission. If you wish to make a submission, please complete this form and email to: [planning@belmont.wa.gov.au](mailto:planning@belmont.wa.gov.au) or post to: City of Belmont, Locked Bag 379, Cloverdale WA 6985.

Written submissions should be lodged with the City within the required comment period. If no comments are received by the closing date, we will assume that you have no comment you wish to make and the application will be assessed and determined on its merits and without any further consultation.

Please note also that although submissions will assist the City in making a determination on the application, they should not be construed as the sole basis for the City's decision. The application will be determined on the relevant planning merits and the City may not agree with all or part of your submission.

DEVELOPMENT APPLICATION DETAILS	
<b>DA Number:</b>	200/2025
<b>Property Address:</b>	24 Beverley Road CLOVERDALE 6105 (Lot 59 PL 8292)
<b>Proposed Development:</b>	Four Grouped Dwellings
<b>Zoning:</b>	Residential R20/R50/R100
<b>Enquiries:</b>	Planning Officer, Lauren Cook 9477 7239

DETAILS OF PERSON(S) MAKING SUBMISSION			
<input type="checkbox"/> I am an Owner and Occupier <b>or</b> <input type="checkbox"/> I am an Owner <b>or</b> <input type="checkbox"/> I am an Occupier			
<b>Name(s):</b>			
<b>Affected Address:</b>			
<b>Postal Address:</b> (if different to above address)			
<b>Telephone No:</b>		<b>Email:</b>	
<b>Signature:</b>		<b>Date:</b>	

Note: submissions should be based on planning merit. A 'How to Make a Submission on a Town Planning Proposal' fact sheet is available for viewing from: [www.belmont.wa.gov.au](http://www.belmont.wa.gov.au).

Submission:

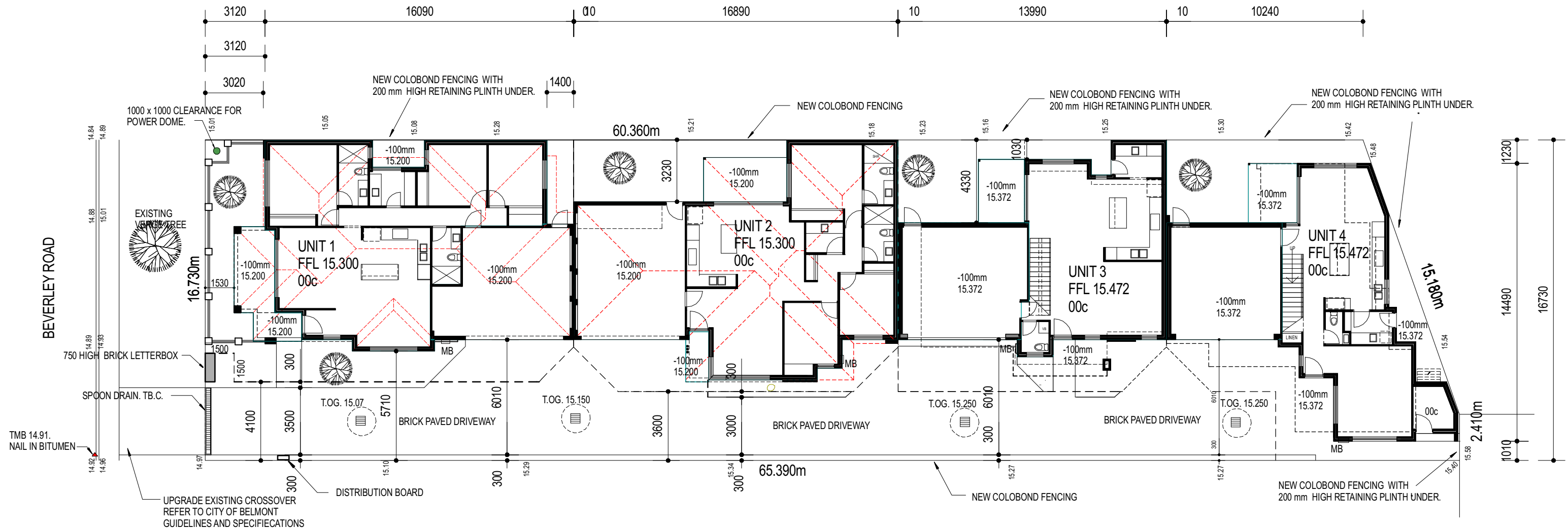
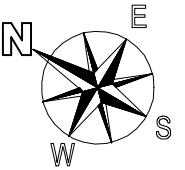
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*Additional lines over page. Attach additional sheets if required.*

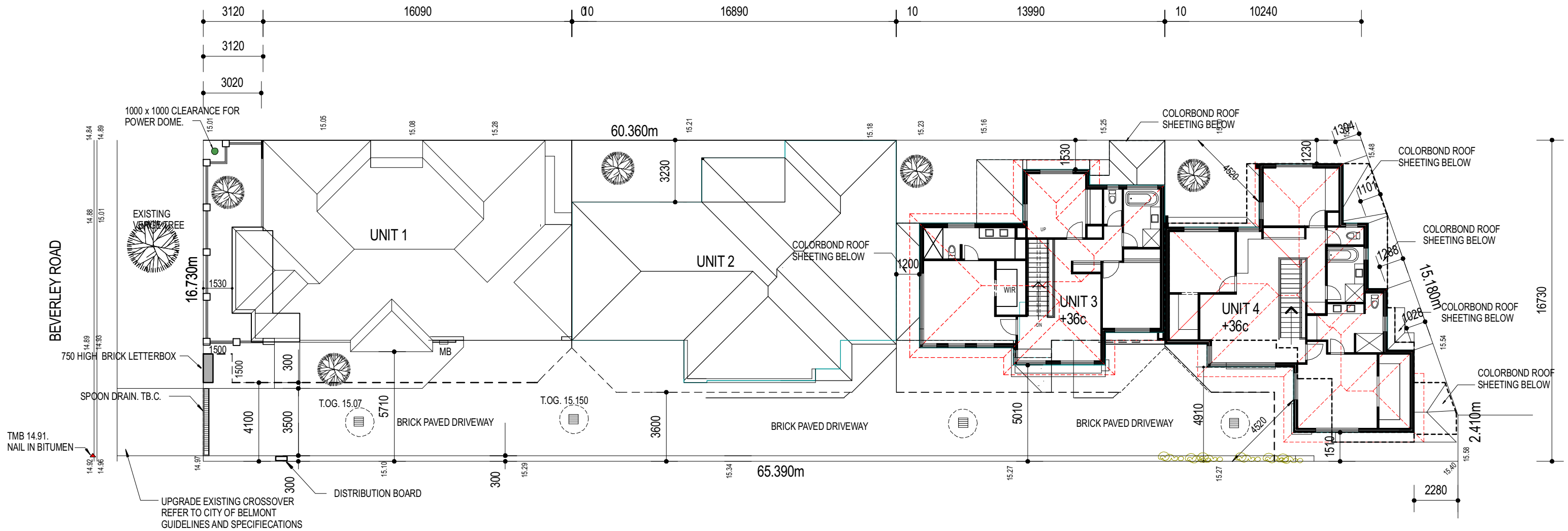
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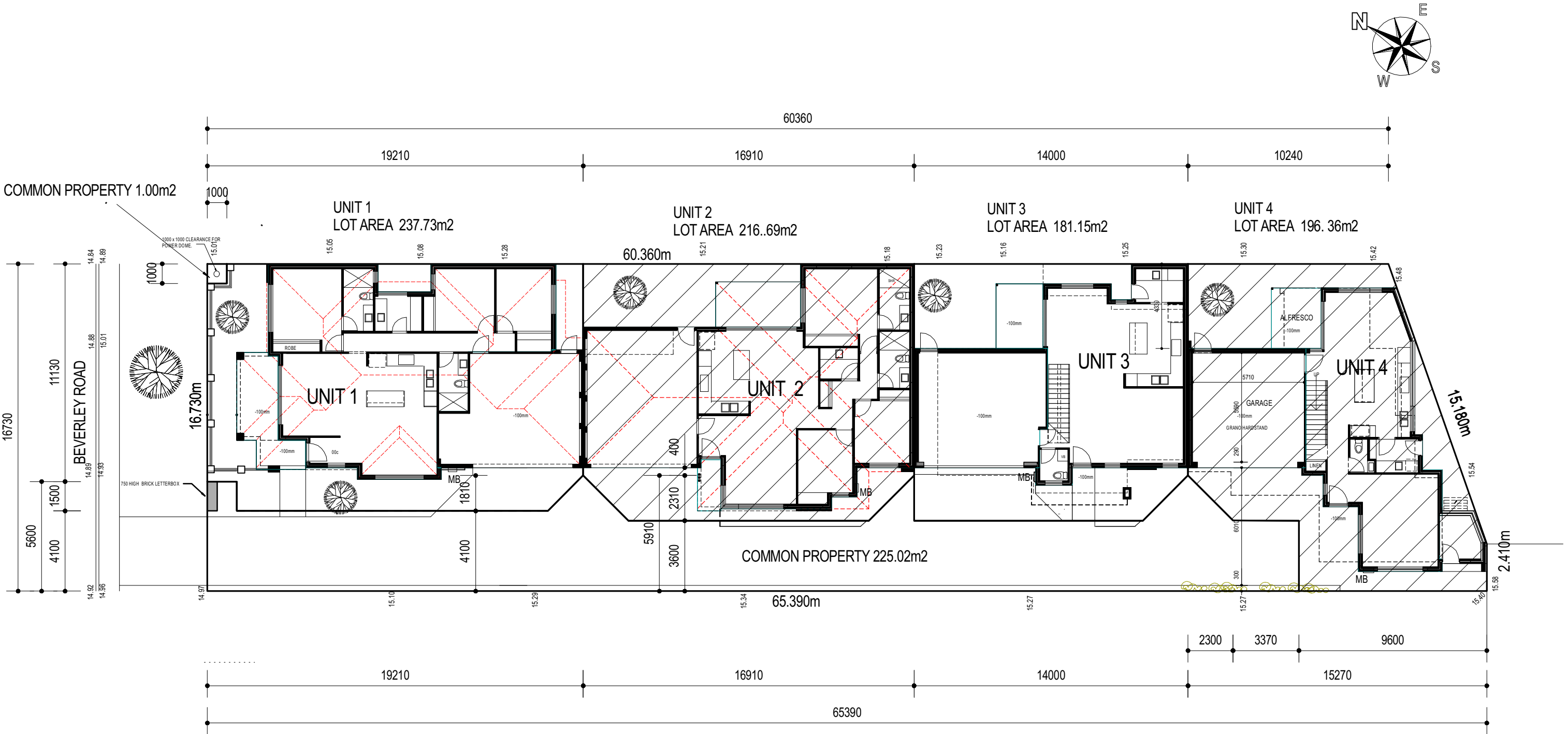
# GROUND FLOOR SITE PLAN

## 1:200

<p>NOTE:</p> <p>CHECK &amp; CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK. IF DISCREPANCIES OF ANY NATURE DO OCCUR NOTIFY THE BUILDER.</p> <p>FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALING.</p> <p>ALL DIMENSIONS SHOWN ON FLOOR PLANS ARE RAW DIMENSIONS ONLY</p> <p>BUILDER/CONTRACTORS TO CONFIRM LOCATION ALL SERVICES PRIOR TO COMMENCEMENT OF WORK</p> <p>ALL WORK TO CONFORM WITH ALL RELEVANT AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA AND LOCAL AUTHORITY GUIDELINES AND SPECIFICATIONS</p>	PROPOSED DEVELOPMENT			TITLE: SITE PLAN		REV: A <b>CITY OF BELMONT RECEIVED 12/05/2025 Application No: 200/2025</b>
	24 BEVERLEY ROAD CLOVERDALE			SCALE: 1:200	DATE: APRIL 2025	
				DRWG No. SK 01	DRWN BY	

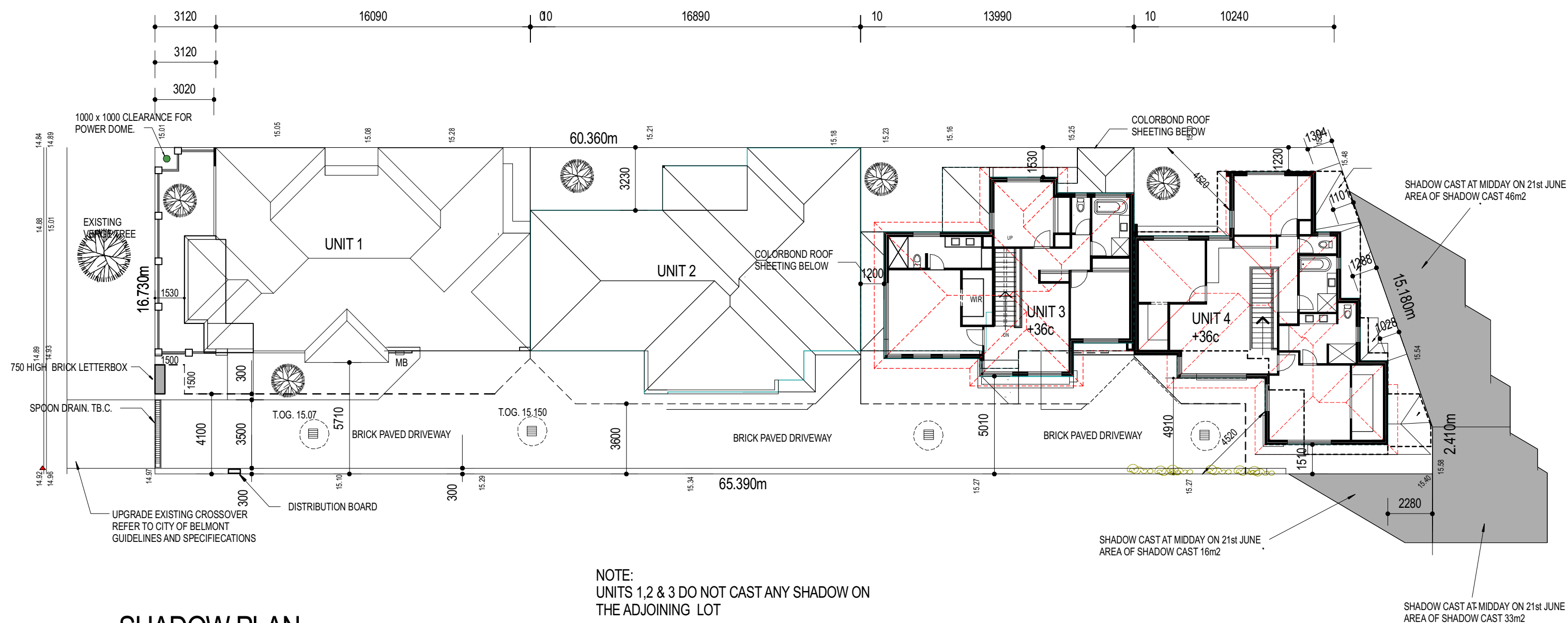


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					SCALE: 1:200	DATE: APRIL 2025				
					DRWG No. SK 02	DRWN BY				



LOT LAYOUT PLAN  
1:200

<p>NOTE:</p> <p>CHECK &amp; CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK. IF DISCREPANCIES OF ANY NATURE DO OCCUR NOTIFY THE BUILDER.</p> <p>FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALING.</p> <p>ALL DIMENSIONS SHOWN ON FLOOR PLANS ARE RAW DIMENSIONS ONLY</p> <p>BUILDER/CONTRACTORS TO CONFIRM LOCATION ALL SERVICES PRIOR TO COMMENCEMENT OF WORK</p> <p>ALL WORK TO CONFORM WITH ALL RELEVANT AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA AND LOCAL AUTHORITY GUIDELINES AND SPECIFICATIONS</p>	PROPOSED DEVELOPMENT			TITLE: LOT LAYOUT PLAN		REV: A <b>CITY OF BELMONT RECEIVED 12/05/2025 Application No: 200/2025</b>
	24 BEVERLEY ROAD CLOVERDALE			SCALE: 1:200	DATE: APRIL 2025	
				DRWG No. SK 03	DRWN BY	

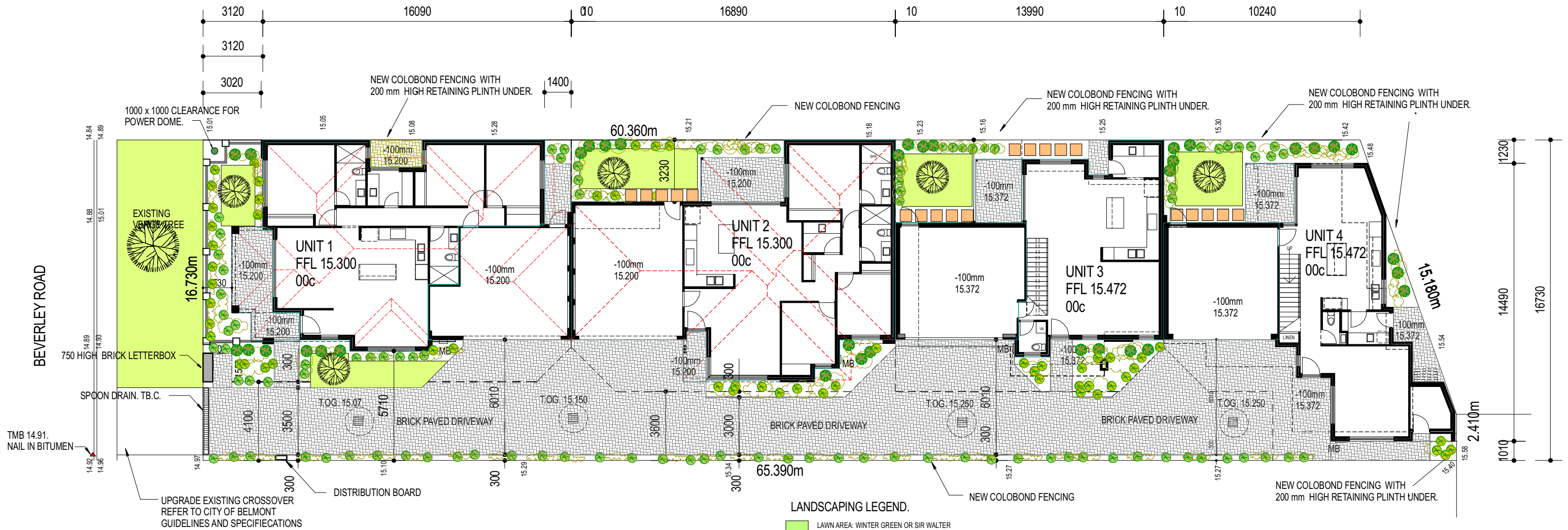
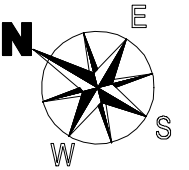


# SHADOW PLAN

## 1:200

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							A	RECEIVED	
								12/05/2025	
								Application No: 200/2025	
24 BEVERLEY ROAD CLOVERDALE	SCALE:	DATE:							
	1:200	APRIL 2025							
	DRWG No.	DRWN BY							
	SK 04								





# LANDSCAPING PLAN

## 1:200

### LANDSCAPING LEGEND.

LAWN AREA: WINTER GREEN OR SIR WALTER TO BE CONFIRMED		
PROPOSED TREE.		
COMMON NAME	BOTANICAL NAME	POT SIZE
T.B.C	T.B.C	T.B.C
T.B.C	T.B.C	T.B.C
T.B.C	T.B.C	T.B.C
ALL LANDSCAPING AREAS TO BE FULLY MULCHED.		
STEPPING STONES		
BRICKPAVING AS SELECTED		

NOTE:  
INSTALL DRIP IRRIGATION TUBING UNDER  
MULCH  
OR  
STANDARD IRRIGATION TUBING WITH  
APPROVED MIRCO SPRAYS.  
STANDARD IRRIGATION TUBING WITH POPUP  
SPRINKLERS TO LAWN AREAS  
FULLY AUTOMATED

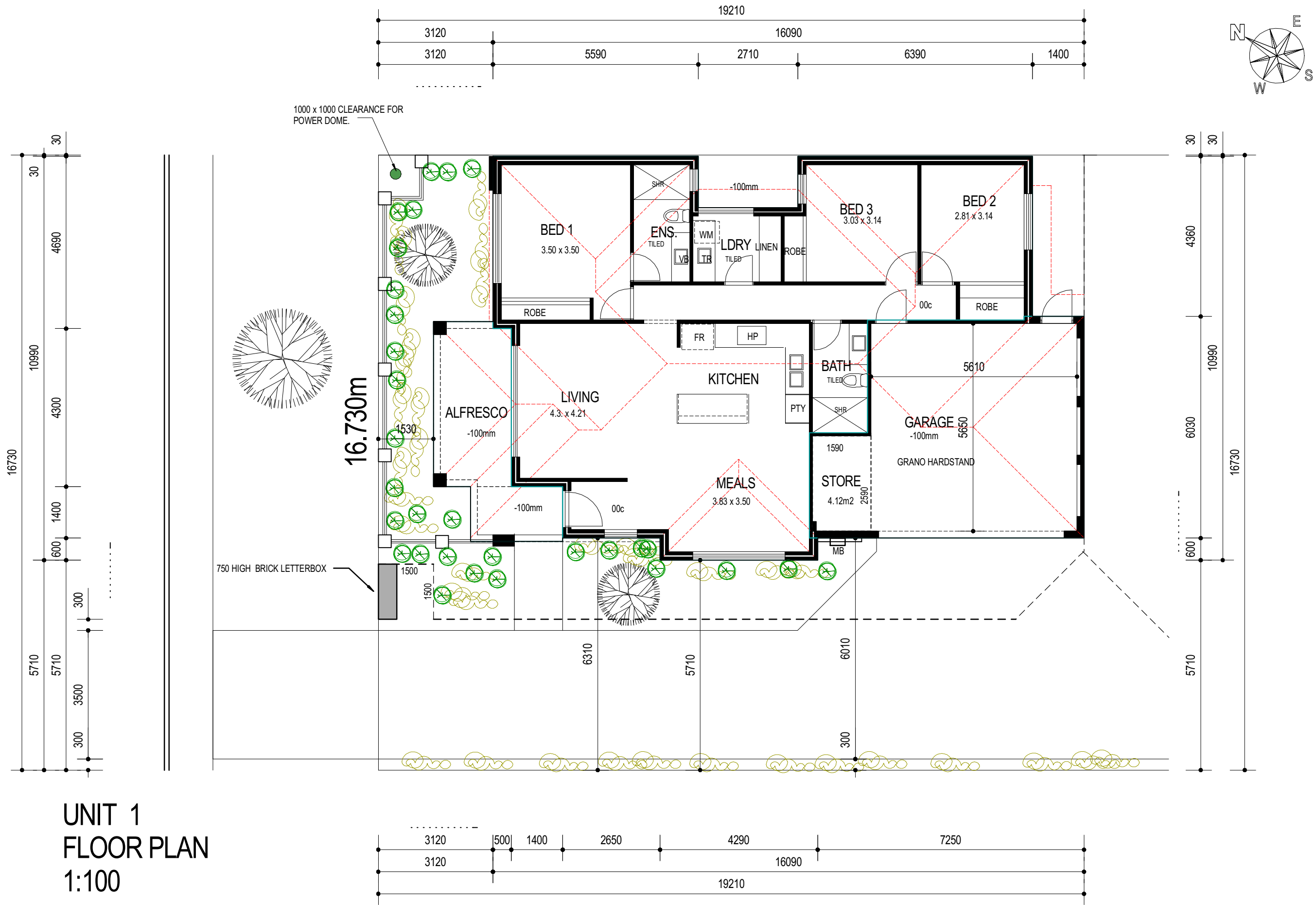
WATERING DAYS TO COMPLY WITH THE  
APPROVED WATER AUTHORITY ALLOCATIONS.

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PROPOSED DEVELOPMENT  
24 BEVERLEY ROAD  
CLOVERDALE

TITLE:  
LANDSCAPING PLAN  
SCALE:  
1:200  
DRWG No.  
SK 05  
DATE:  
APRIL 2025  
DRWN BY

REV: A  
CITY OF BELMONT  
RECEIVED  
12/05/2025  
Application No: 200/2025

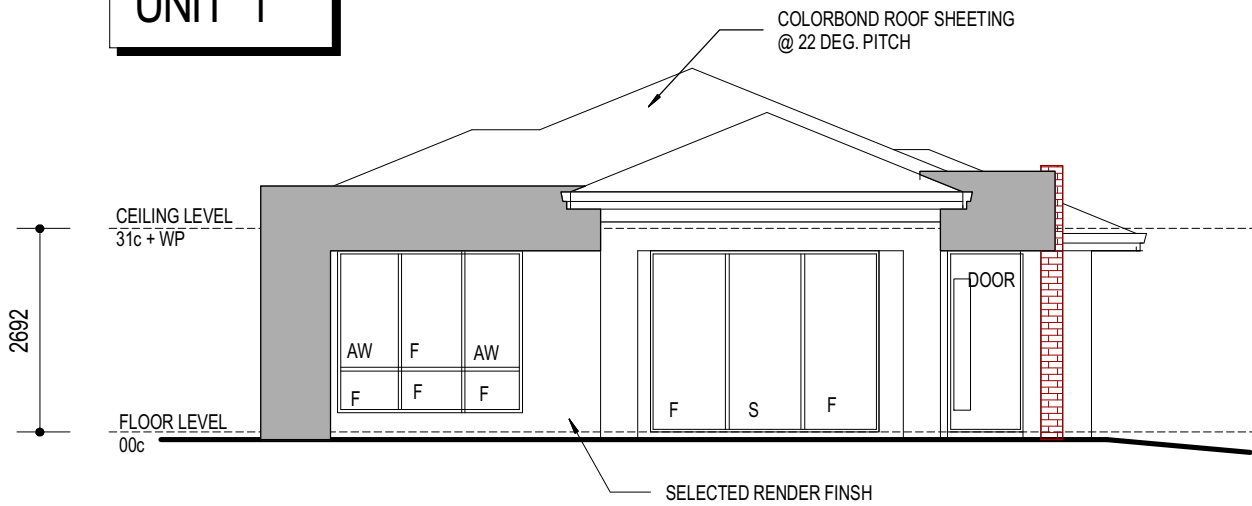


UNIT 1  
FLOOR PLAN  
1:100

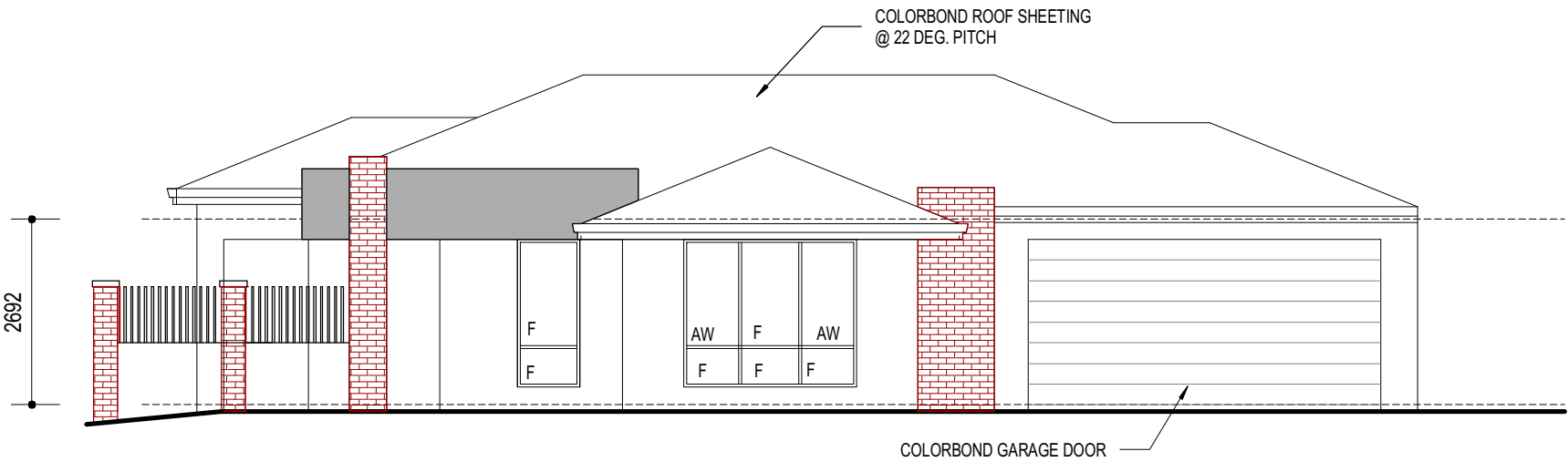
<p>NOTE:</p> <p>CHECK &amp; CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK. IF DISCREPANCIES OF ANY NATURE DO OCCUR NOTIFY THE BUILDER.</p> <p>FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALING.</p> <p>ALL DIMENSIONS SHOWN ON FLOOR PLANS ARE RAW DIMENSIONS ONLY</p> <p>BUILDER/CONTRACTORS TO CONFIRM LOCATION ALL SERVICES PRIOR TO COMMENCEMENT OF WORK</p> <p>ALL WORK TO CONFORM WITH ALL RELEVANT AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA AND LOCAL AUTHORITY GUIDELINES AND SPECIFICATIONS</p>	<p>AREA CALCULATION</p> <table><tr><td>HOUSE</td><td>115.39m<sup>2</sup></td></tr><tr><td>GARAGE</td><td>39.65m<sup>2</sup></td></tr><tr><td>PORCH &amp; ALFRESCO</td><td>13.15m<sup>2</sup></td></tr><tr><td>TOTAL</td><td>168.19m<sup>2</sup></td></tr></table>	HOUSE	115.39m <sup>2</sup>	GARAGE	39.65m <sup>2</sup>	PORCH & ALFRESCO	13.15m <sup>2</sup>	TOTAL	168.19m <sup>2</sup>			<p>PROPOSED DEVELOPMENT</p> <p>24 BEVERLEY ROAD CLOVERDALE</p>	<table><tr><td colspan="2">TITLE: FLOOR PLAN</td></tr><tr><td>SCALE: 1:100</td><td>DATE: APRIL 2025</td></tr><tr><td>DRWG No. SK 06</td><td>DRWN BY</td></tr></table>	TITLE: FLOOR PLAN		SCALE: 1:100	DATE: APRIL 2025	DRWG No. SK 06	DRWN BY	<table><tr><td>REV:</td><td>DESCRIPTION</td></tr><tr><td>A</td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr></table>	REV:	DESCRIPTION	A											
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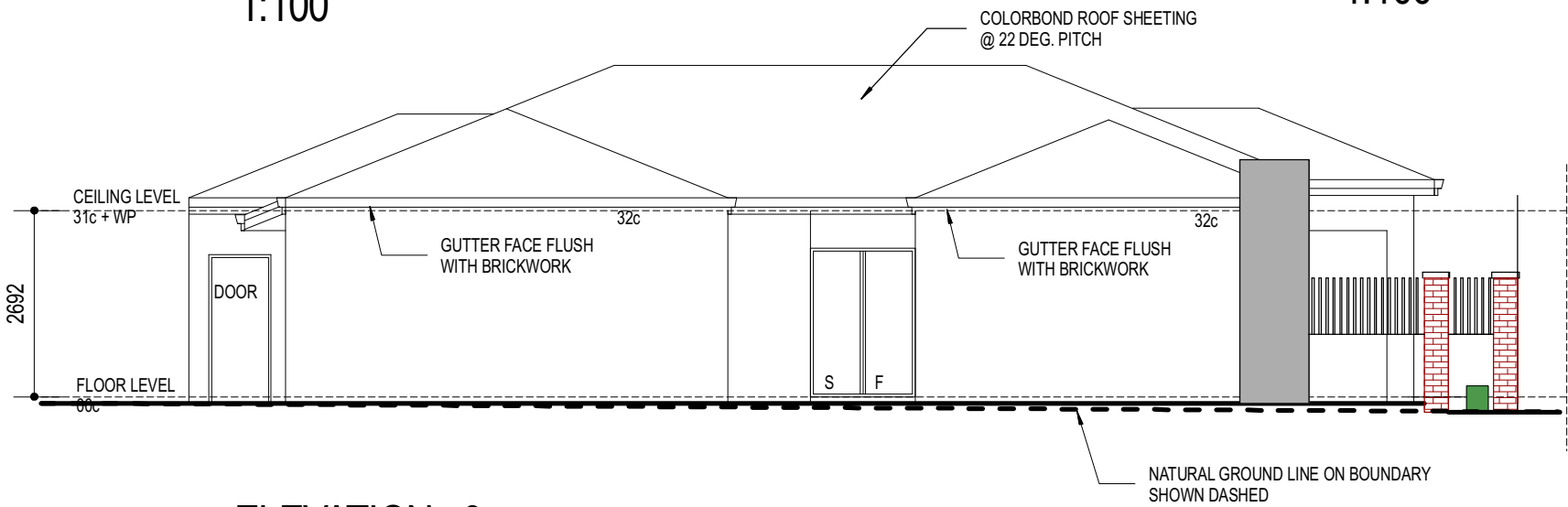
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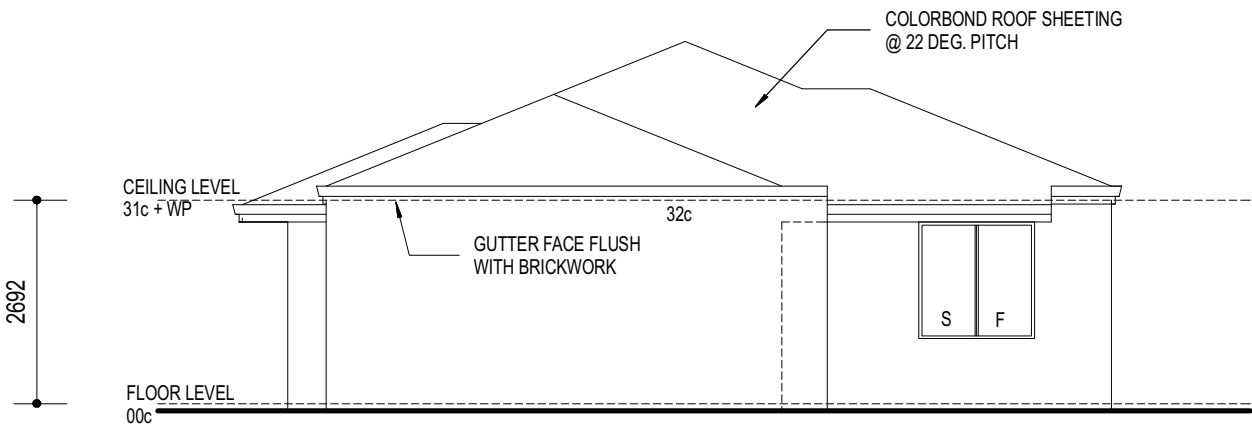
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1:100



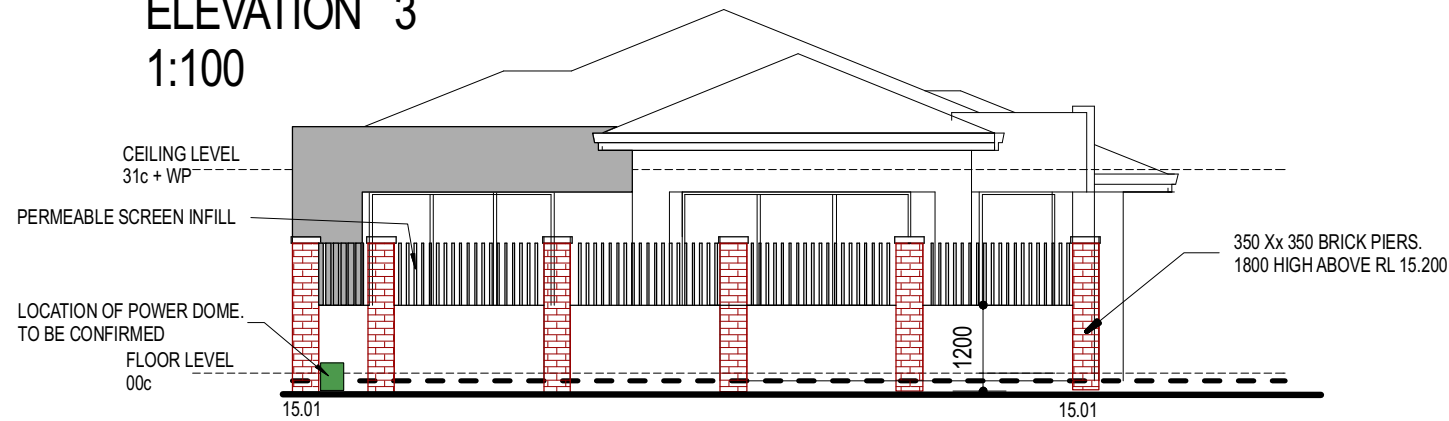
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ELEVATION 3  
1:100



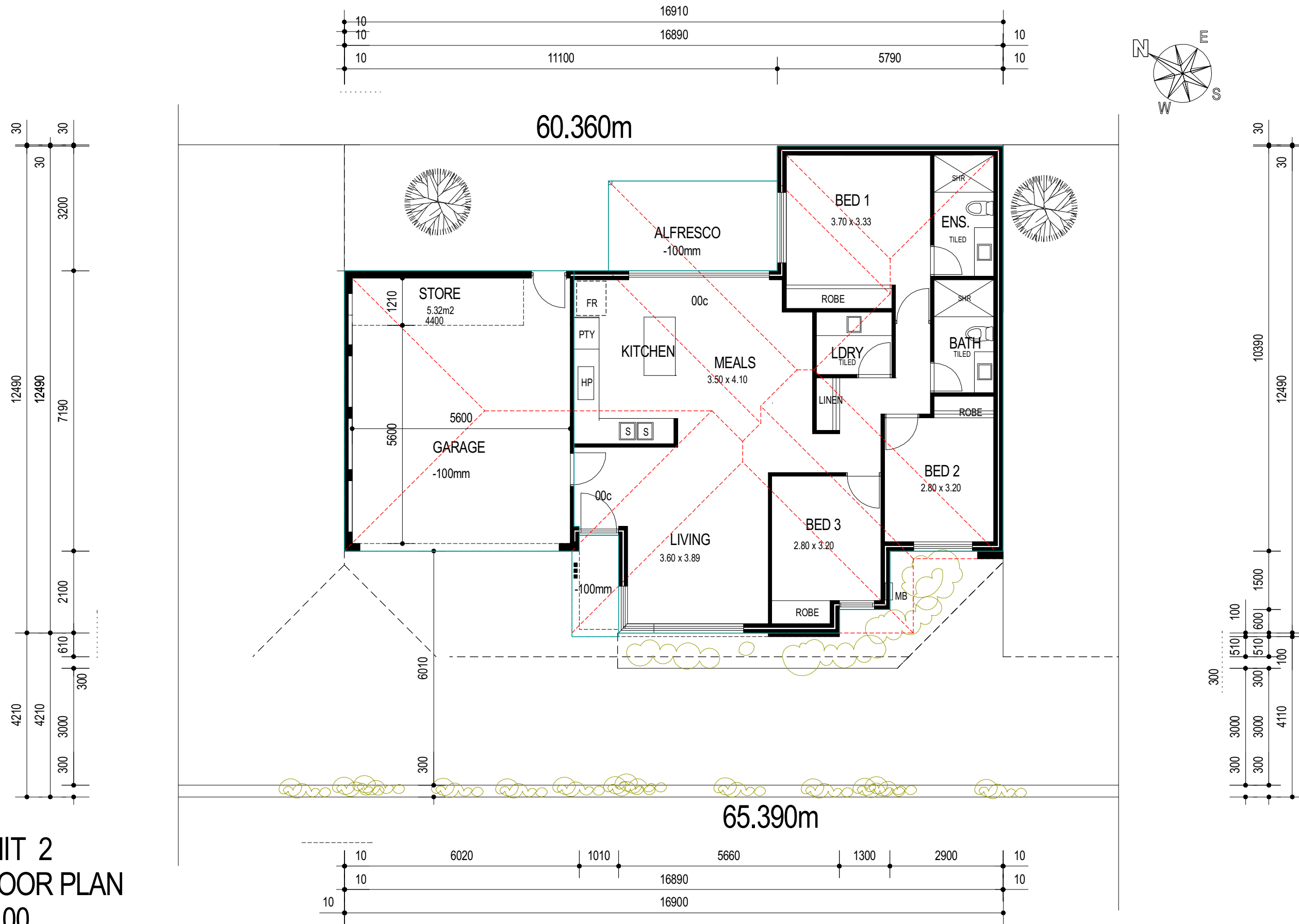
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1:100



FRONT SCREEN WALL ELEVATION  
1:100

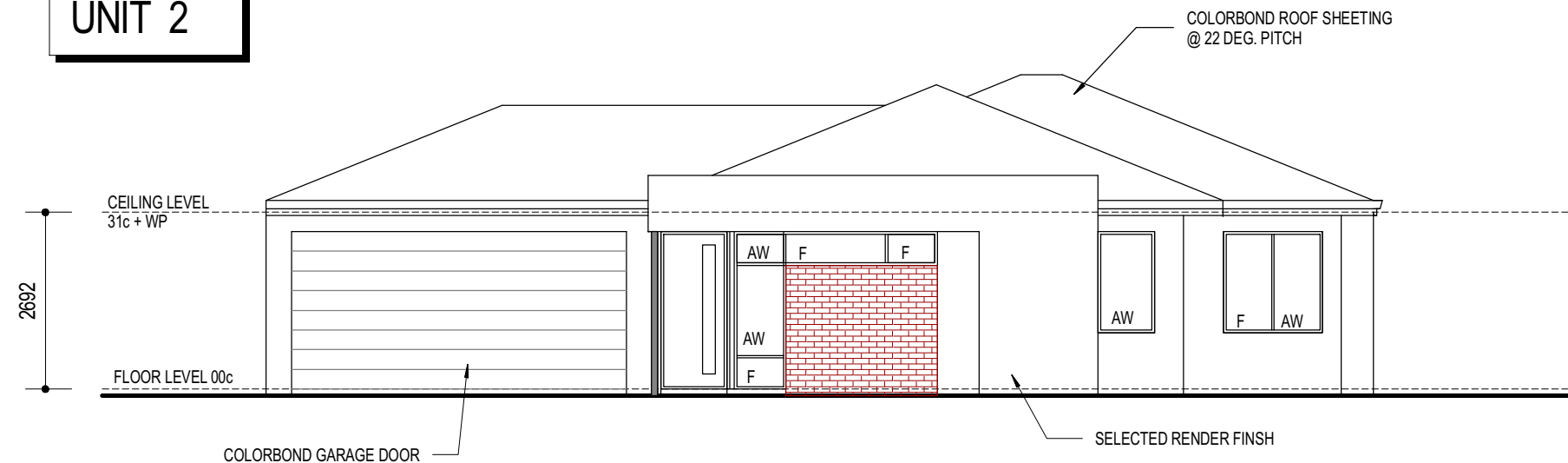
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	24 BEVERLEY ROAD CLOVERDALE			SCALE: 1:100	DATE: APRIL 2025	A	CITY OF BELMONT RECEIVED 12/05/2025 Application No: 200/2025	
				DRWG No. SK 07	DRWN BY			

UNIT 2  
FLOOR PLAN  
1:100

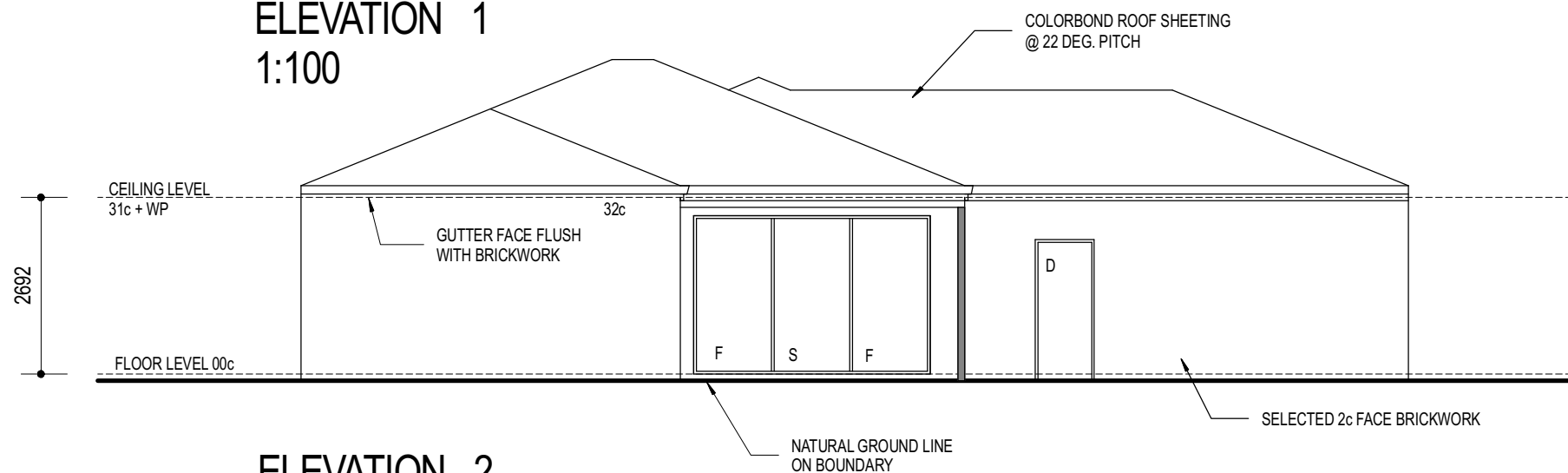


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				24 BEVERLEY ROAD CLOVERDALE		SCALE: 1:100	DATE: APRIL 2025			
						DRWG No. SK 08	DRWN BY			

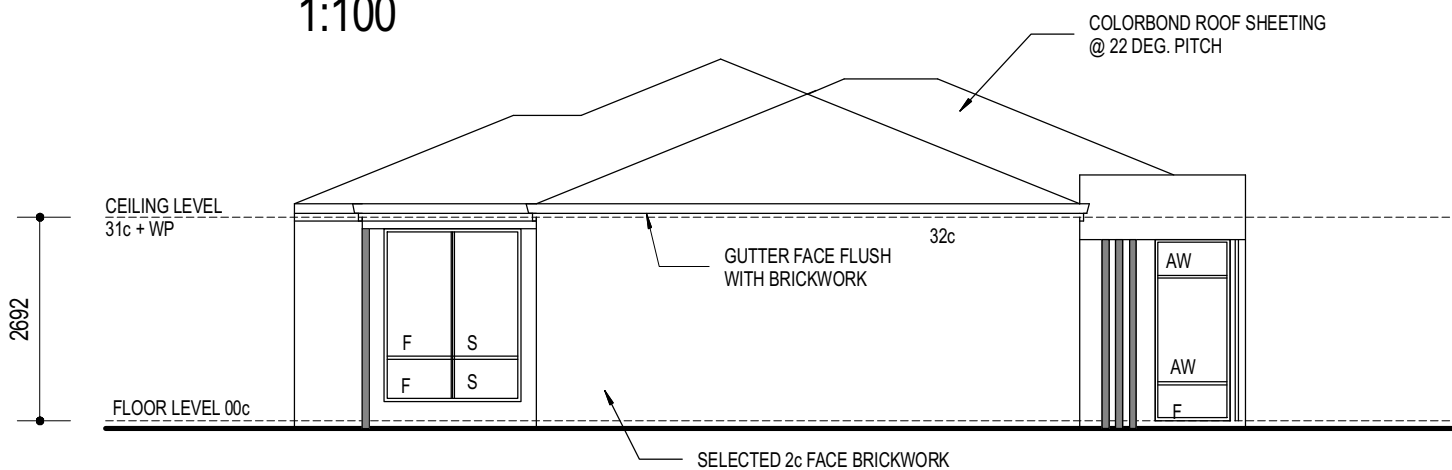
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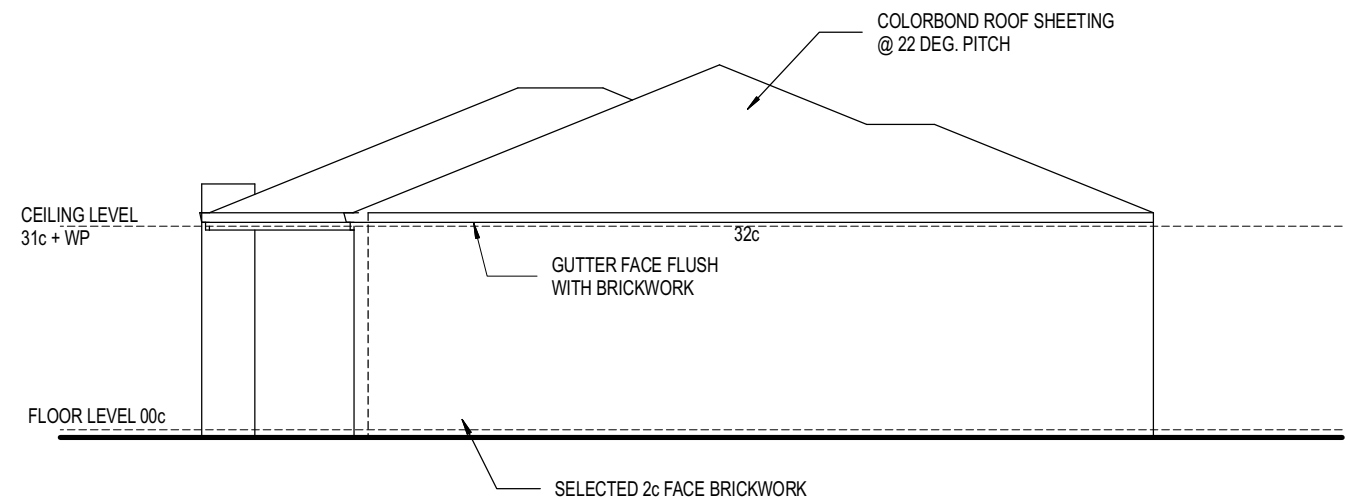
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ELEVATION 2  
1:100

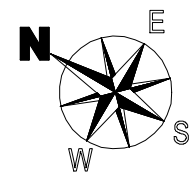


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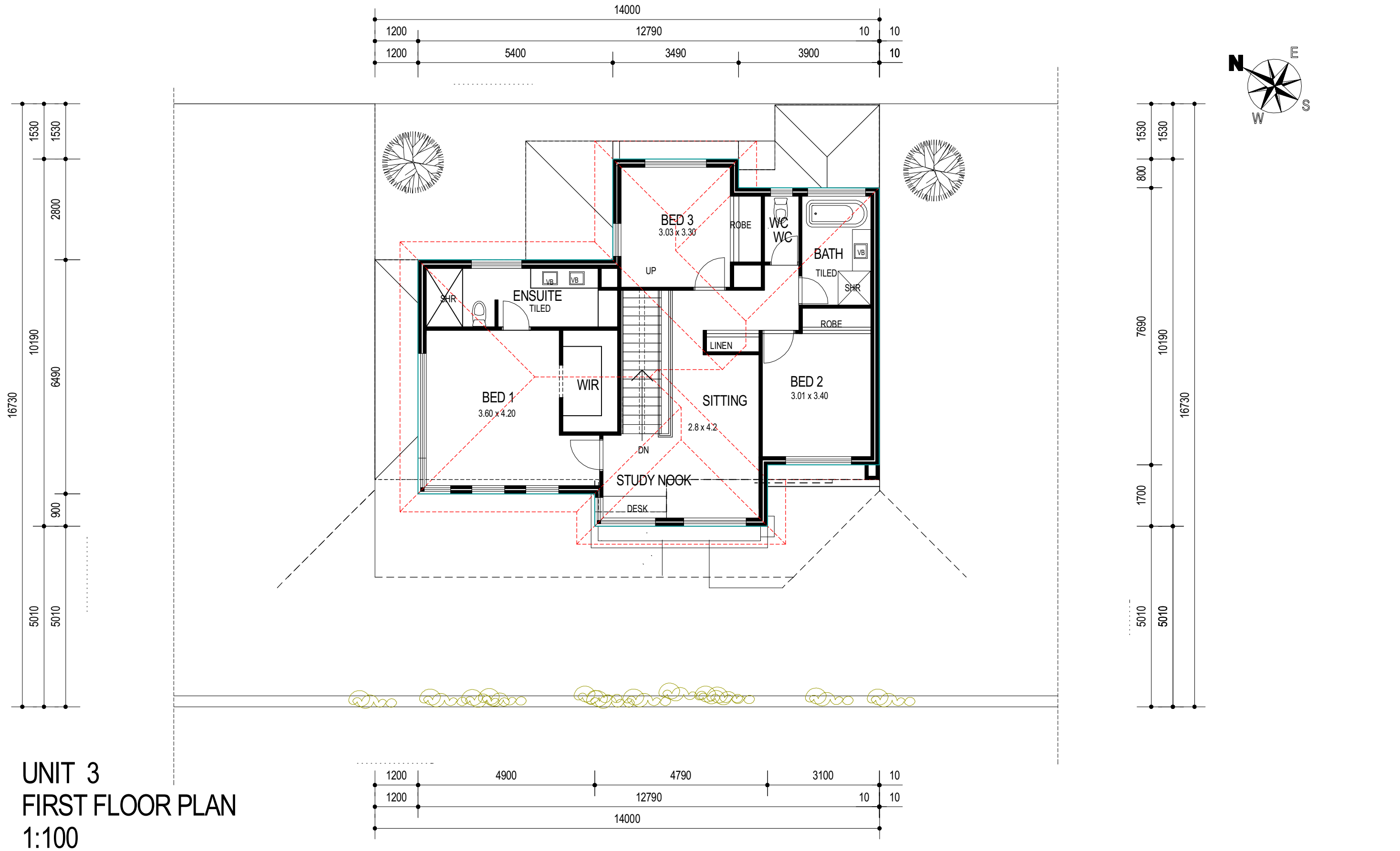


ELEVATION 4  
1:100

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				24 BEVERLEY ROAD CLOVERDALE	SCALE:	DATE:			
					1:100	APRIL 2025			
					DRWG No. SK 09	DRWN BY			



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					SCALE:	DATE:			
					1:100	APRIL 2025			
					DRWG No. SK 10	DRWN BY			



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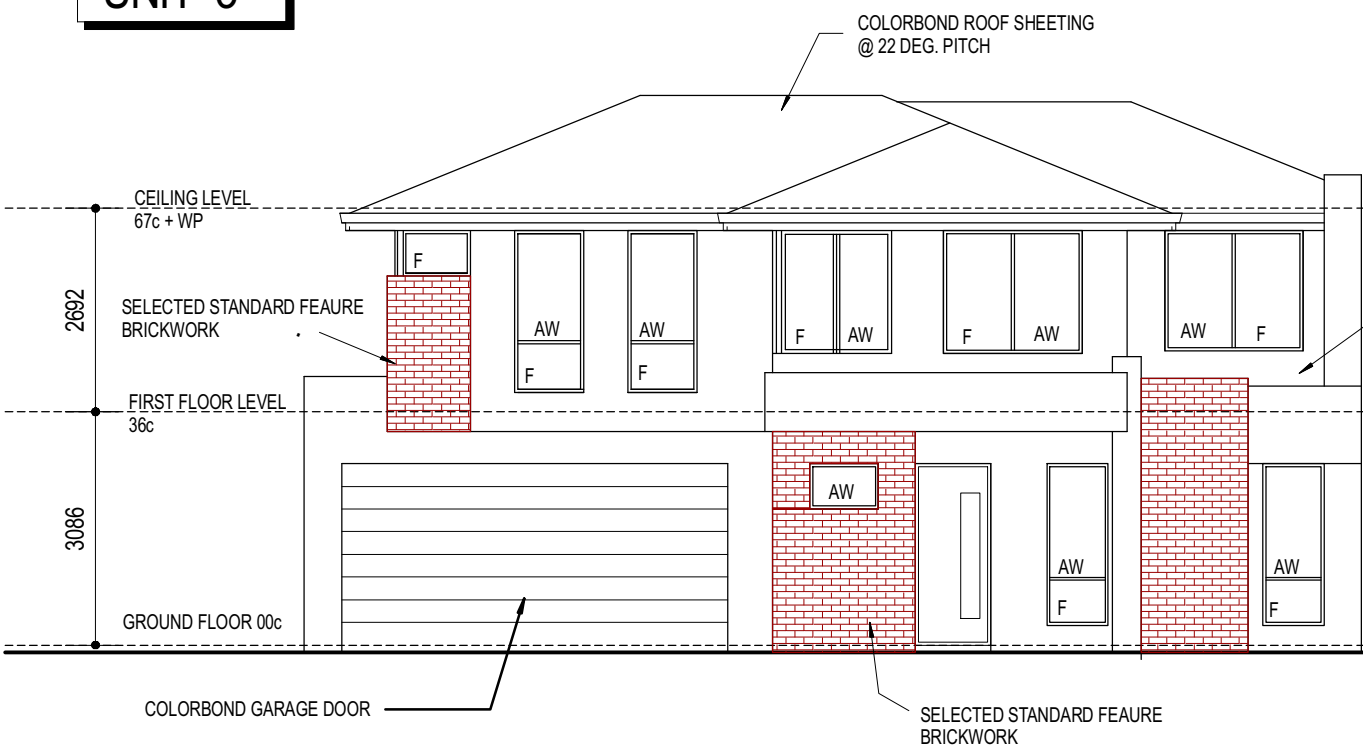
AREA CALCULATION  
FIRST FLOOR  
HOUSE 102.39m2

PROPOSED DEVELOPMENT  
  
24 BEVERLEY ROAD  
CLOVERDALE

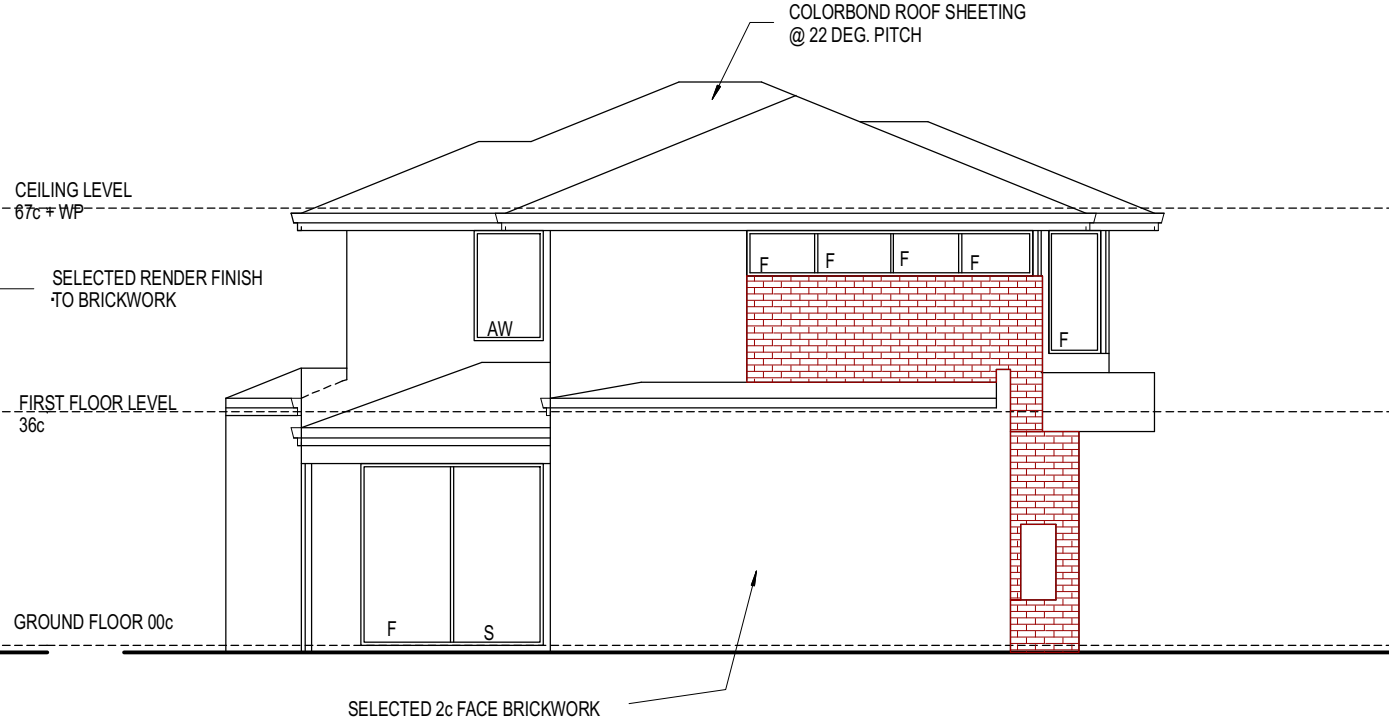
TITLE:  
FIRST FLOOR PLAN  
  
SCALE:  
1:100  
DRWG No.  
SK 11  
  
DATE:  
APRIL 2025  
DRWN BY

REV:	DESCRIPTION	DATE:
A	CITY OF BELMONT RECEIVED 12/05/2025 Application No: 200/2025	

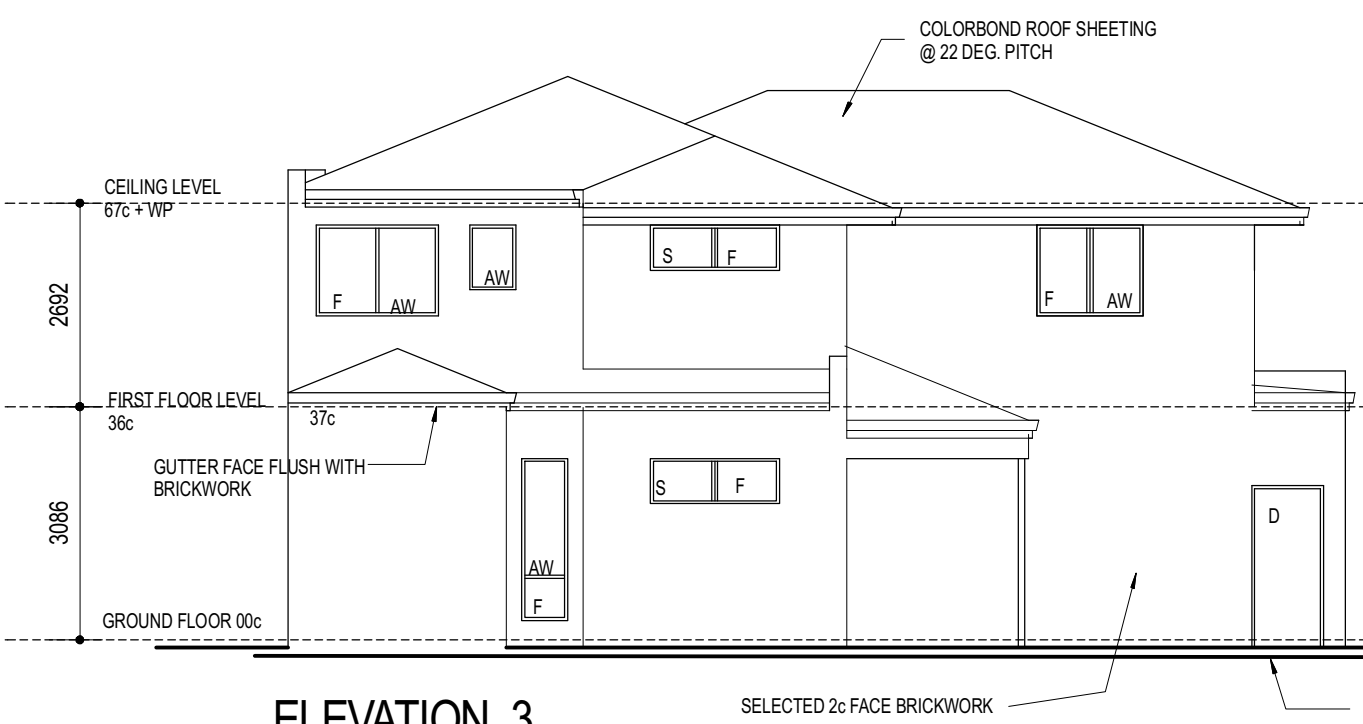
UNIT 3



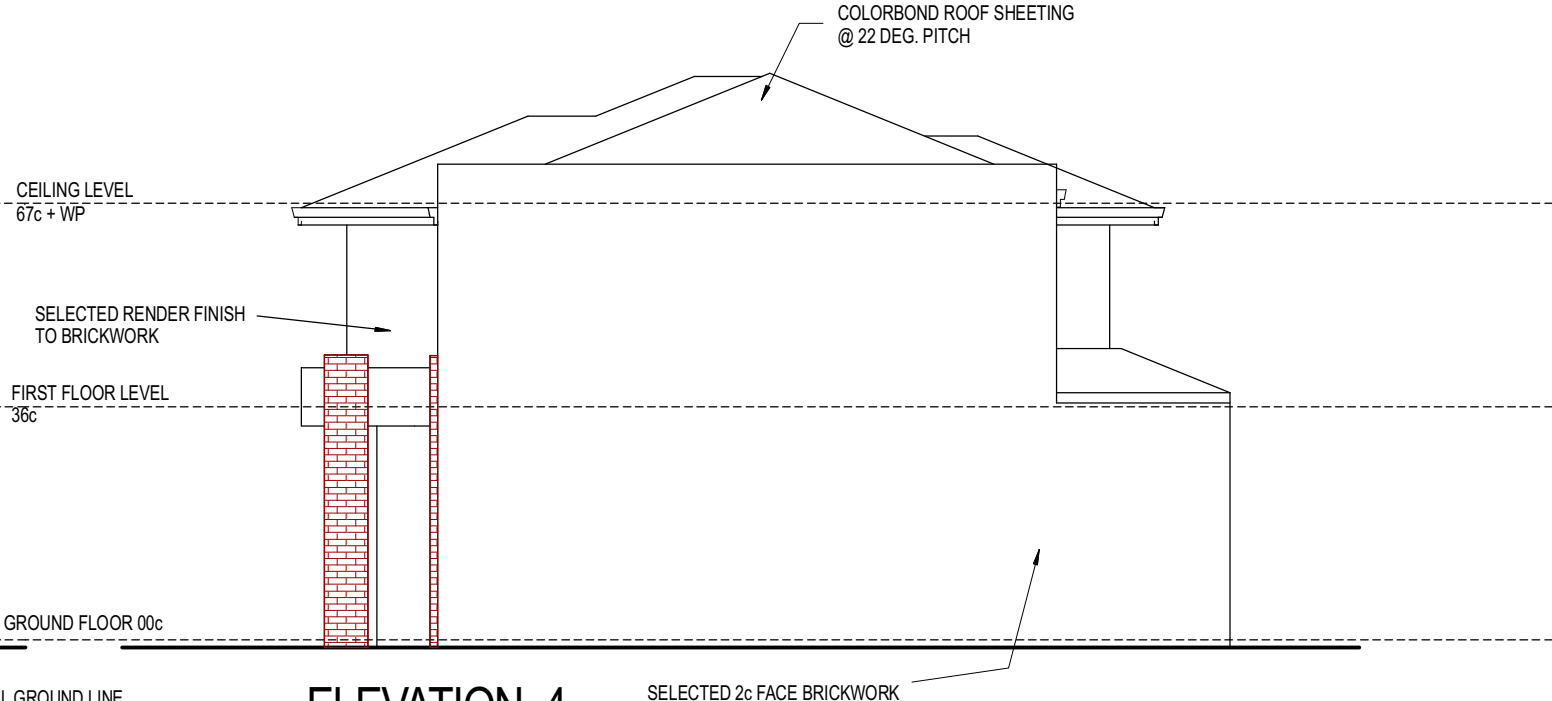
ELEVATION 1  
1:100



ELEVATION 2  
1:100



ELEVATION 3  
1:100

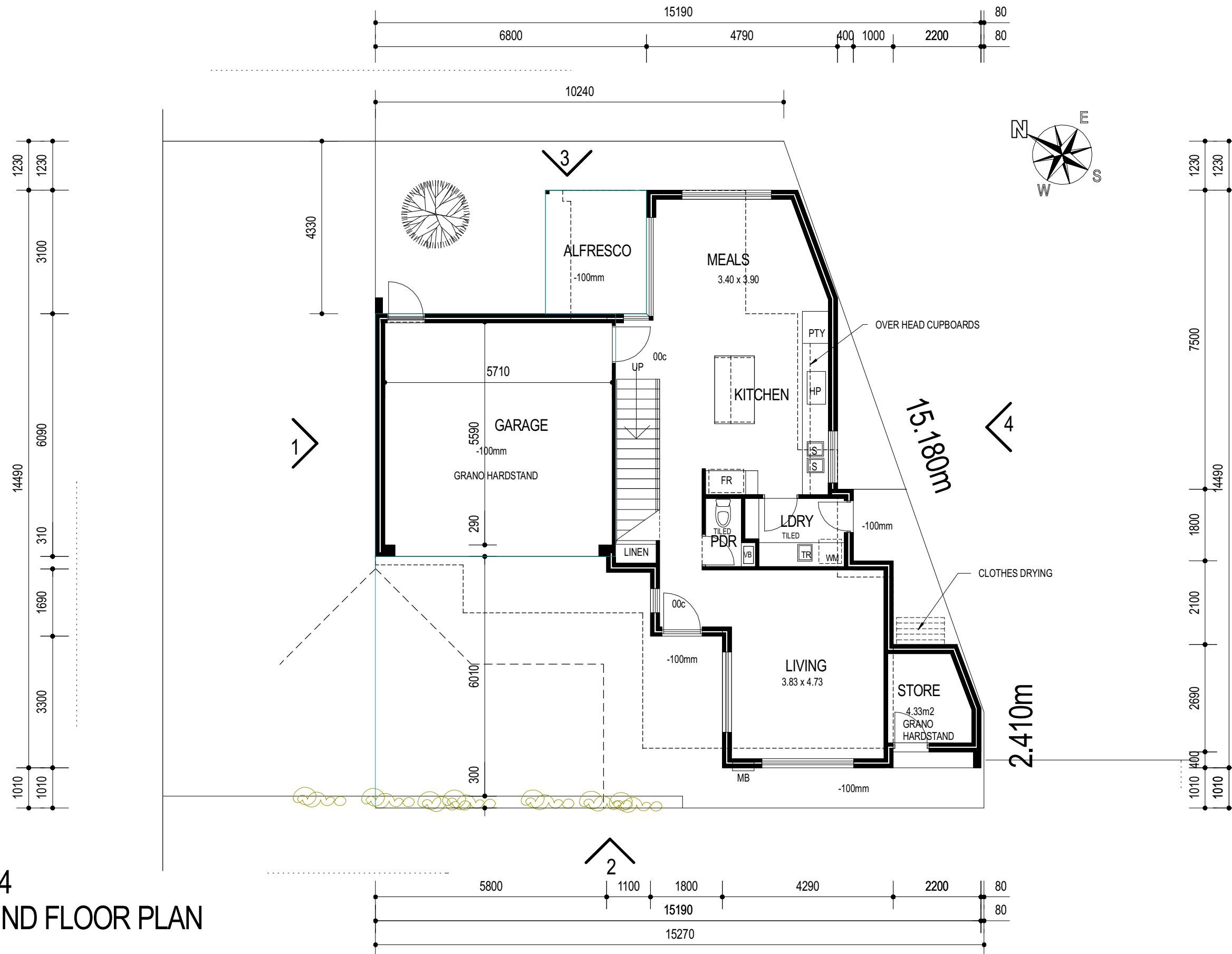


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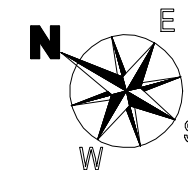
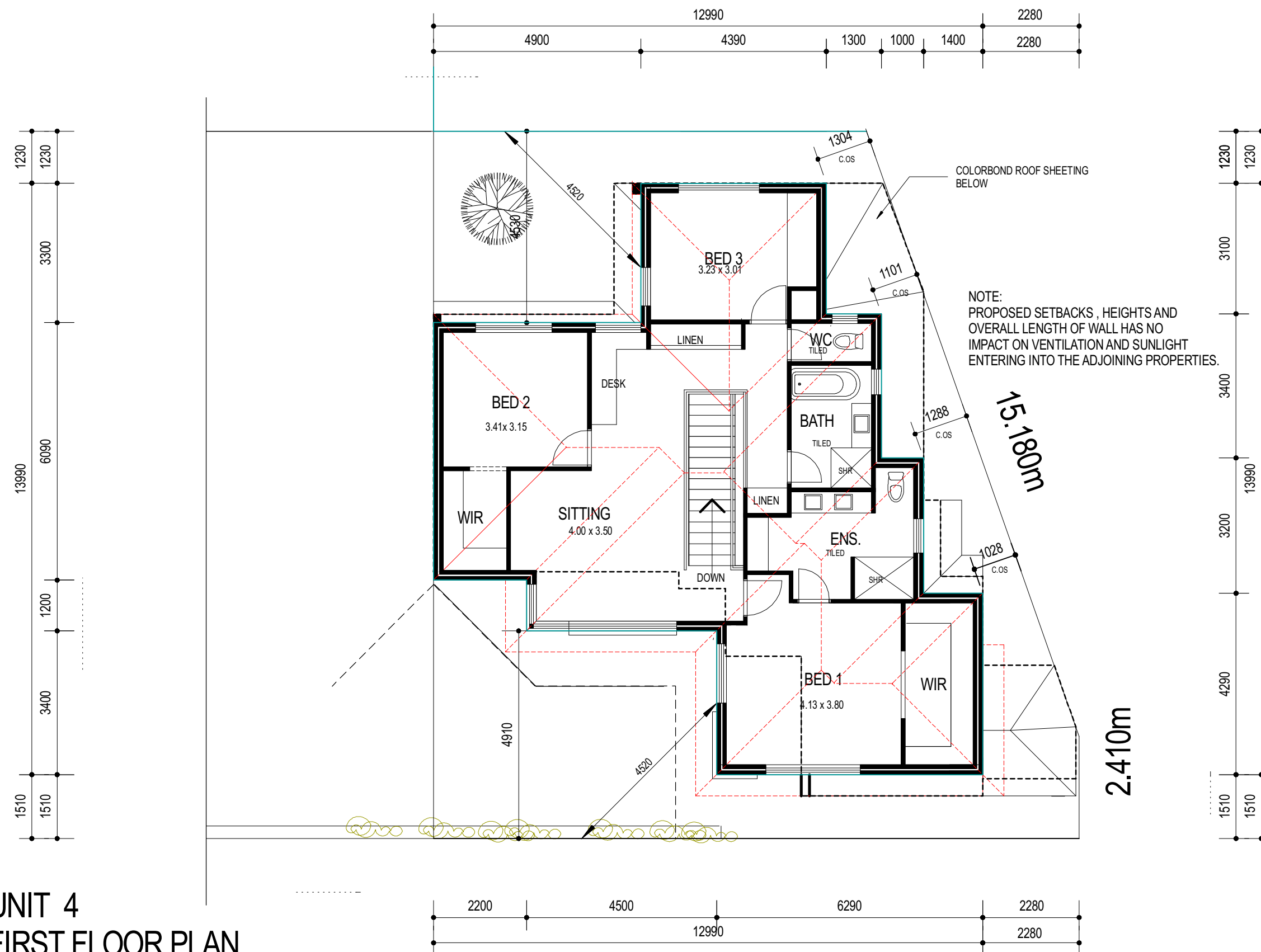
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	24 BEVERLEY ROAD CLOVERDALE			SCALE: 1:100	DATE: APRIL 2025	
				DRWG No. SK 12	DRWN BY:	



UNIT 4  
GROUND FLOOR PLAN  
1:100

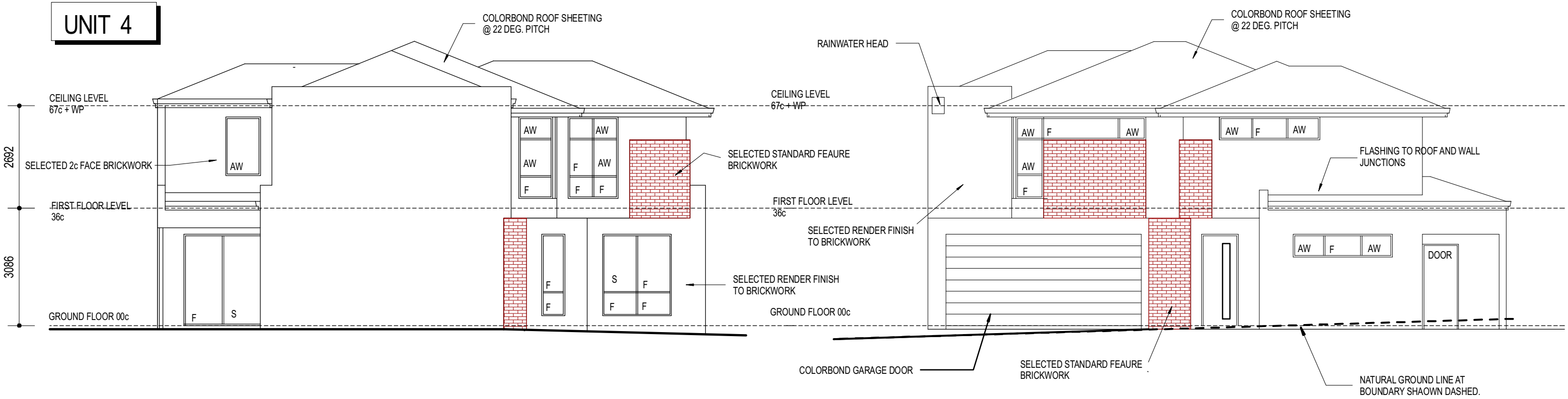


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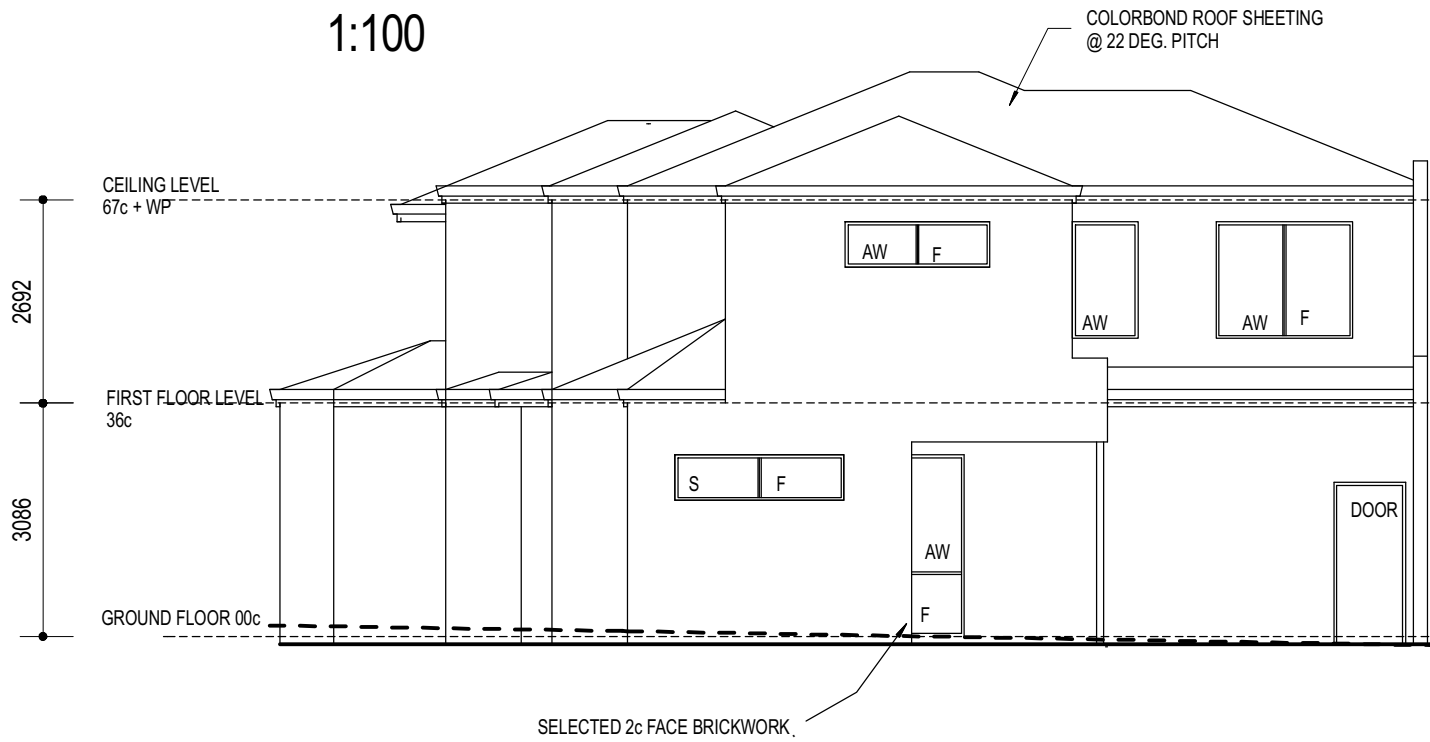
UNIT 4  
FIRST FLOOR PLAN  
1:100

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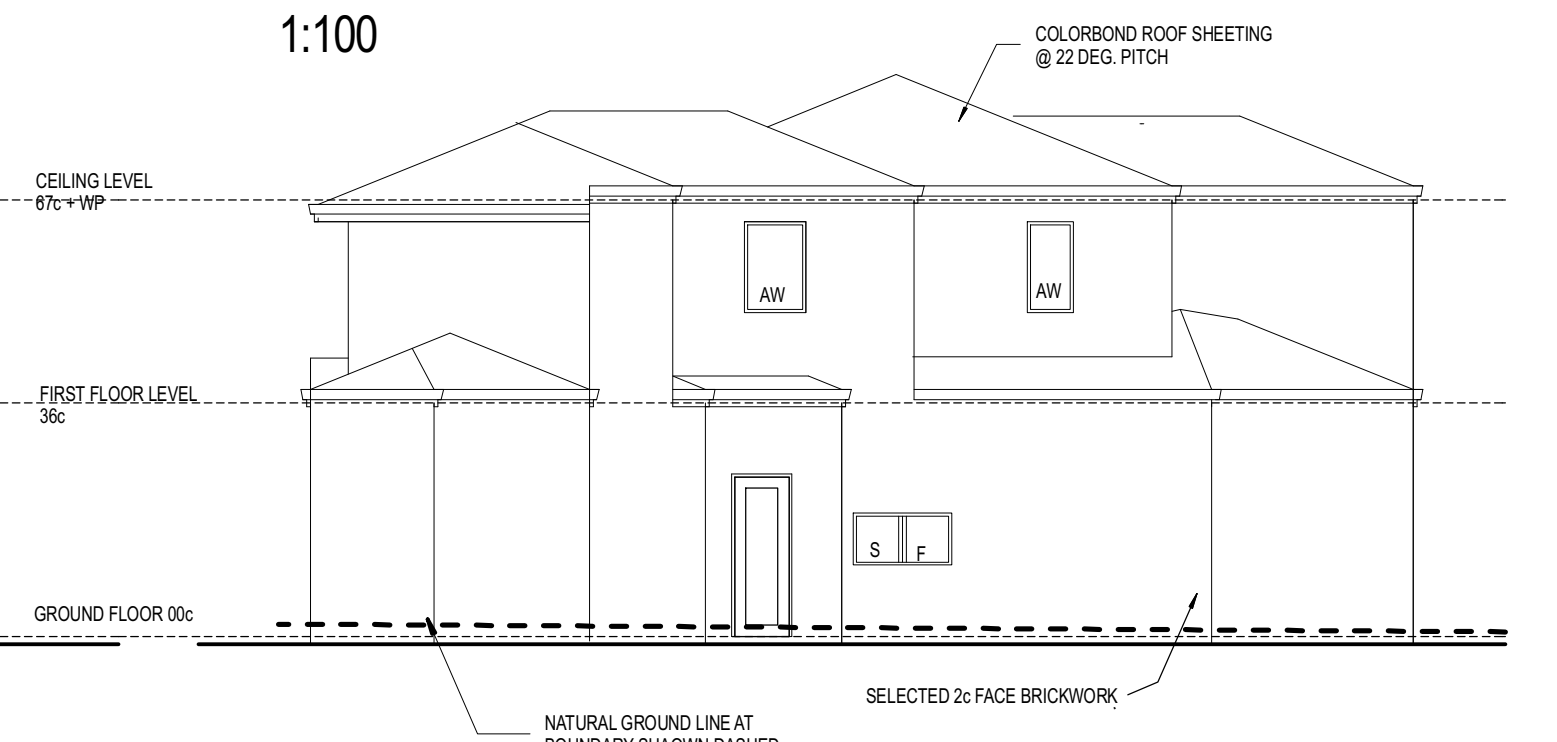


ELEVATION 1  
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				DRWG No. SK 15	DRWN BY	