

Development Application Submission Form

This submission form is provided for your convenience. There is no obligation to make a submission. If you wish to make a submission, please complete this form and email to: planning@belmont.wa.gov.au or post to: City of Belmont, Locked Bag 379, Cloverdale WA 6985.

Written submissions should be lodged with the City within the required comment period. If no comments are received by the closing date, we will assume that you have no comment you wish to make and the application will be assessed and determined on its merits and without any further consultation.

Please note also that although submissions will assist the City in making a determination on the application, they should not be construed as the sole basis for the City's decision. The application will be determined on the relevant planning merits and the City may not agree with all or part of your submission.

DEVELOPMENT APPLICATION DETAILS	
DA Number:	277/2025/DA
Property Address:	20 Leake Street ASCOT 6104 (Lot 125 PL 2198)
Proposed Development:	Additions/Alterations to Single House
Zoning:	Residential and Stables
Enquiries:	Planning Officer, Lauren Cook 9477 7239

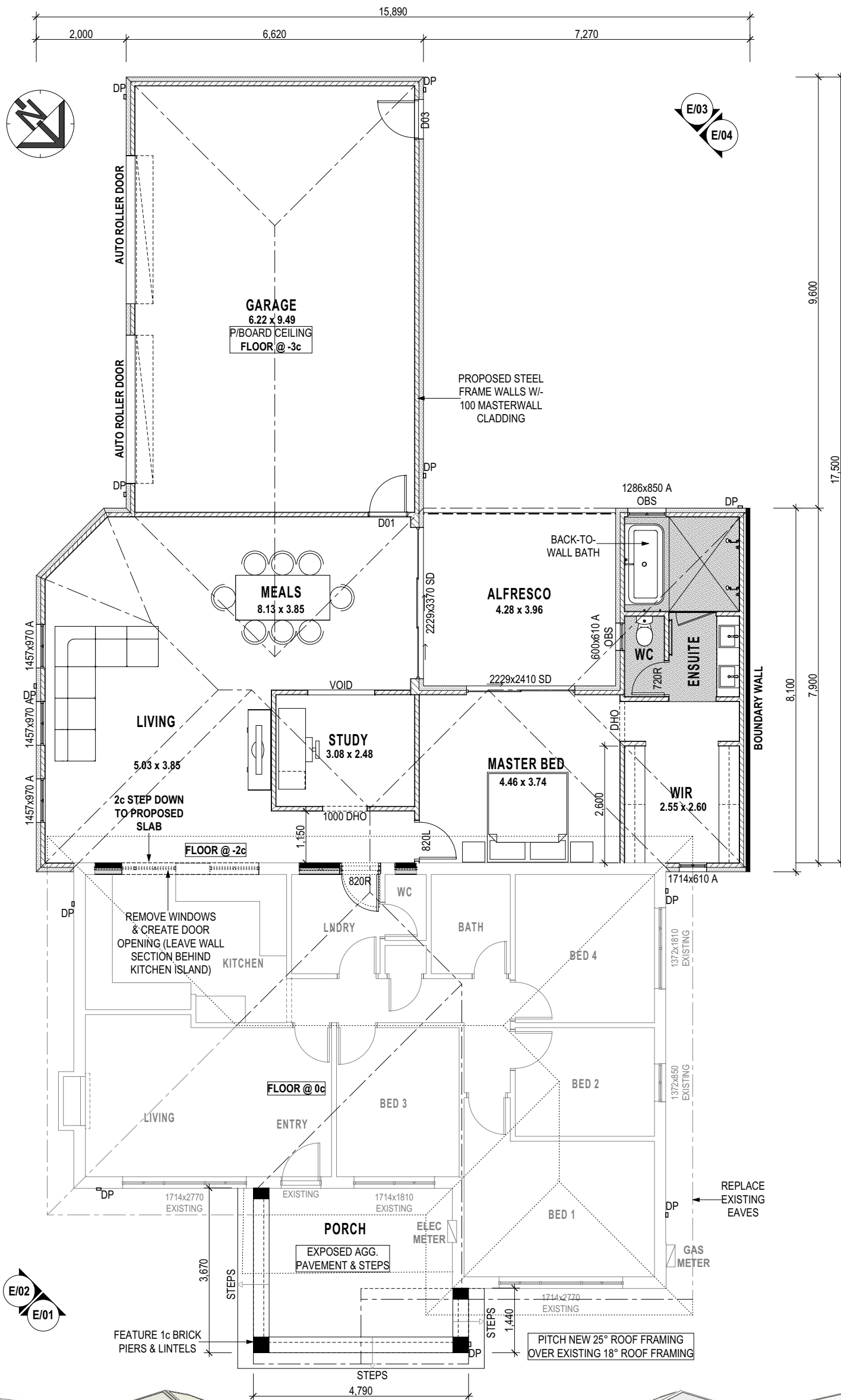
DETAILS OF PERSON(S) MAKING SUBMISSION			
<input type="checkbox"/> I am an Owner and Occupier or <input type="checkbox"/> I am an Owner or <input type="checkbox"/> I am an Occupier			
Name(s):			
Affected Address:			
Postal Address: (if different to above address)			
Telephone No:		Email:	
Signature:		Date:	

Note: submissions should be based on planning merit. A 'How to Make a Submission on a Town Planning Proposal' fact sheet is available for viewing from: www.belmont.wa.gov.au.

Submission:

Additional lines over page. Attach additional sheets if required.

[illegible]



GENERAL NOTES

- 1) THIS PLAN SHEET MUST BE READ WITH REFERENCE TO THE NOTES ON SHEET 1.
- 2) DIMENSIONS TAKE PRECEDENCE OVER SCALING.
- 3) REFER ASSOCIATED ENGINEER DETAILS. ENGINEER DETAILS TAKE PRECEDENCE.
- 4) ALL CONSTRUCTION GENERALLY TO BE IN ACCORDANCE WITH NCC, COUNCIL REGS AND AUSTRALIAN STANDARDS.
- 5) CONTRACTORS SHOULD VERIFY ALL DIMENSIONS ON SITE.
- 6) DIMENSIONS SHOWN DO NOT NECESSARILY ALLOW FOR INTERNAL OR EXTERNAL LININGS OR CLADDINGS UNLESS OTHERWISE NOTED.
- 7) CONTRACTORS SHOULD VERIFY THAT THE PLANS BEING USED ARE LATEST REVISION.

BUILT AREAS

BUILT ZONE	AREA (m ²)
EXIST. LIVING	106.25
PROP. LIVING	107.47
PROP. ALFRESCO	16.95
PROP. GARAGE	64.21
PROP. PORCH	16.80
	311.68 m ²

ROOF ZONE AREA (m²)

REVISIONS

DATE	REVISION
13/1/25	CONCEPT SKETCH
17/1/25	SKETCH
21/1/25	AMENDMENTS
25/4/25	AMENDMENTS
-	-
-	-
-	-
-	-
-	-
-	-

REV. -

SCALE

1:100 (A3)

JOB No:

BAL:

DRAWN:

MORDEN O'HARE
VIC REG: DP-AD26794

SHEET

W3423

TBC

OWNER: SMITH

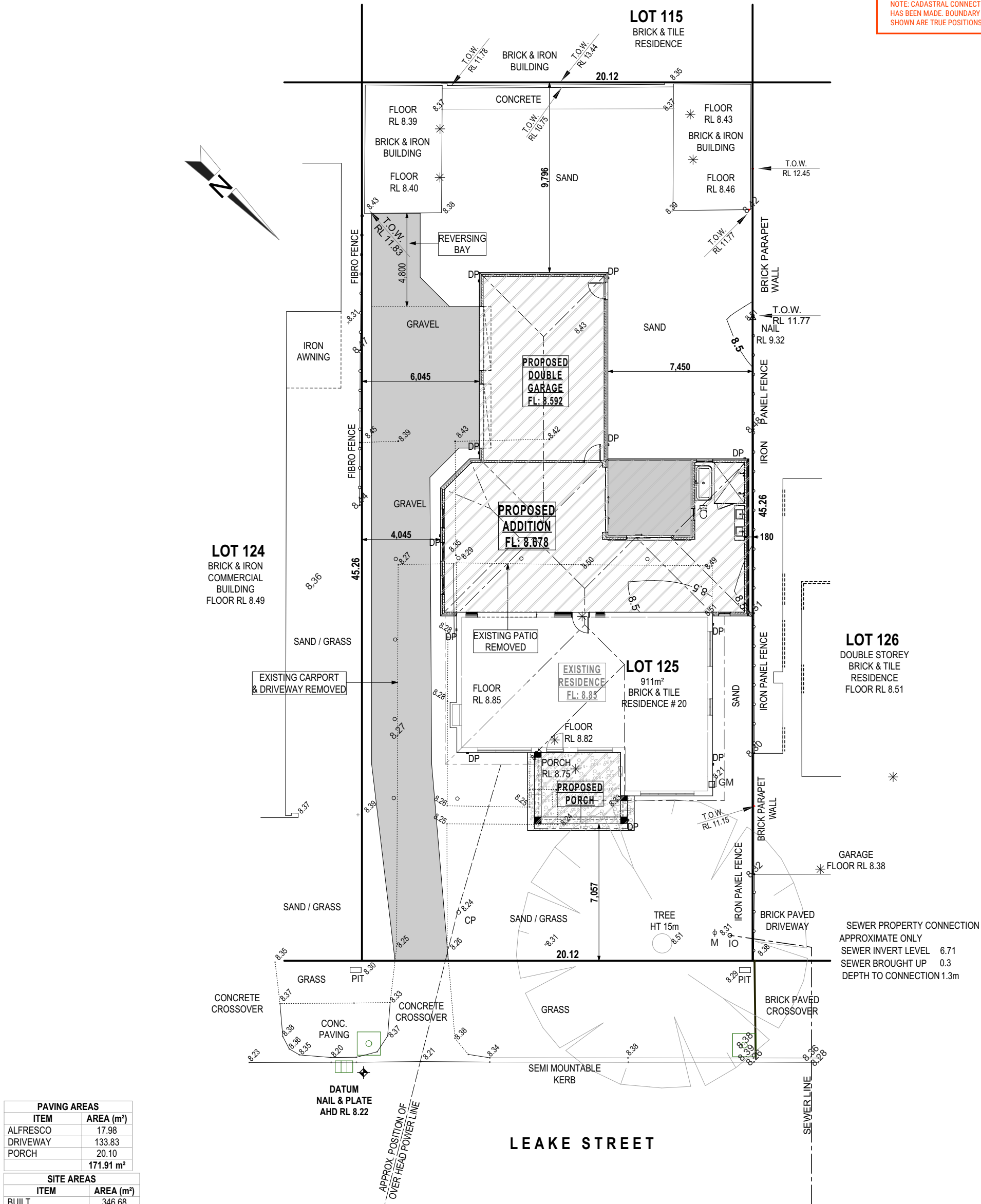
SITE: L125 (20) LEAKE ST
ASCOT

SKETCH PLAN

THIS PLAN SHALL REMAIN THE SOLE PROPERTY OF ARCADIA BUILDING DESIGN AND MUST NOT BE LENT, GIVEN, RESOLD OR OTHERWISE DISPOSED OF WITHOUT THE WRITTEN PERMISSION OF ARCADIA BUILDING DESIGN.




SITE PLAN LEGEND		STORMWATER RUN (RAINWATER COLLECTION)		SCHEMATIC PLUMBING LINES (SEPTIC)	
THIS LEGEND REFERS TO PROPOSED ITEMS AND DETAILS THAT ARE NOT PART OF THE SURVEYORS ORIGINAL DRAWING.		STORMWATER RUN (DRAINAGE/TANK OVERFLOW)		SELECTED RETAINING	
		STORMWATER PITS		APPROX EXTENT OF FILL/CUT BATTER	
		CUT-OFF DRAIN (HARDCHANNEL OR SIMILAR)		WHEELIE BIN STORAGE LOC.	
		PROPOSED FENCING		SELECTED LETTERBOX	
		100mm PVC CONDUITS UNDER PAVING		WALL/POST HUNG CLOTHESLINE	
		ELECTRICAL RUNS / CONDUITS			
				2000x2000 TREE PLANTING AREA	
				A 12000 x 1200 CONCRETE SOAKWELL	
				B 15000 x 1200 CONCRETE SOAKWELL	



PAVING AREAS	
ITEM	AREA (m²)
ALFRESCO	17.98
DRIVEWAY	133.83
PORCH	20.10
	171.91 m²
SITE AREAS	
ITEM	AREA (m²)
BUILT	346.68
LOT	910.46
OPEN SPACE	563.78

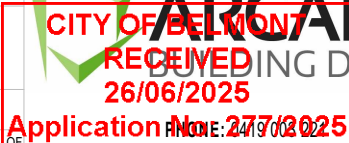
GENERAL NOTES		BUILT AREAS		REVISIONS		REV: -	SCALE	SHEET	OWNER: SMITH
1) THIS PLAN SHEET MUST BE READ WITH REFERENCE TO THE NOTES ON SHEET 1.		BUILT ZONE	AREA (m²)	DATE	REVISION		1:200 (A3)	W3423	SITE: L125 (20) LEAKE ST ASCOT
2) DIMENSIONS TAKE PRECEDENCE OVER SCALING.				13/1/25	CONCEPT SKETCH				
3) REFER ASSOCIATED ENGINEER DETAILS. ENGINEER DETAILS TAKE PRECEDENCE.		EXIST. LIVING	106.25	17/1/25	SKETCH		JOB No:	BAL:	TBC
4) ALL CONSTRUCTION GENERALLY TO BE IN ACCORDANCE WITH NCC, COUNCIL REGS AND AUSTRALIAN STANDARDS.		PROP. LIVING	107.47	21/1/25	AMENDMENTS				
5) CONTRACTORS SHOULD VERIFY ALL DIMENSIONS ON SITE.		PROP. ALFRESCO	16.95	25/4/25	AMENDMENTS		DRAWN:	MORDEN O'HARE	VIC REG: DP-AD26794
6) DIMENSIONS SHOWN DO NOT NECESSARILY ALLOW FOR INTERNAL OR EXTERNAL LININGS OR CLADDINGS UNLESS OTHERWISE NOTED.		PROP. GARAGE	64.21						
7) CONTRACTORS SHOULD VERIFY THAT THE PLANS BEING USED ARE LATEST REVISION.		PROP. PORCH	16.80						
			311.68 m²						
		ROOF ZONE	AREA (m²)						



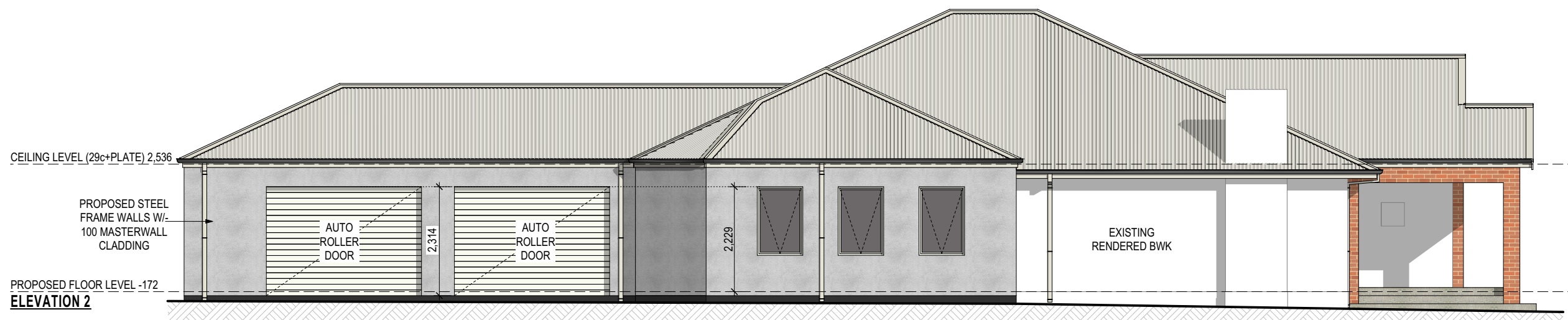
CITY OF BELMONT
RECEIVED
26/06/2025
Application No: 277/2025

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ARCADIA BUILDING DESIGN AND MUST NOT BE LENT,
GIVEN, RESOLD OR OTHERWISE DISPOSED OF
WITHOUT THE WRITTEN PERMISSION OF ARCADIA
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