

CITY OF BELMONT

Development Application Submission Form

This submission form is provided for your convenience. There is no obligation to make a submission. If you wish to make a submission, please complete this form and email to: planning@belmont.wa.gov.au or post to: City of Belmont, Locked Bag 379, Cloverdale WA 6985.

Written submissions should be lodged with the City within the required comment period. If no comments are received by the closing date, we will assume that you have no comment you wish to make and the application will be assessed and determined on its merits and without any further consultation.

Please note also that although submissions will assist the City in making a determination on the application, they should not be construed as the sole basis for the City's decision. The application will be determined on the relevant planning merits and the City may not agree with all or part of your submission.

DEVELOPMENT APPLICATION DETAILS	
DA Number:	415/2020
Property Address:	28 Guilfoyle Green CLOVERDALE 6105 (St Lot 2 SP 80025)
Proposed Development:	Single House (R Codes variation)
Zoning:	Residential R20
Enquiries:	Planning Officer, Akanksha Gupta 08 9477 7400

DETAILS OF PERSON(S) MAKING SUBMISSION			
<input type="checkbox"/> I am an Owner and Occupier or <input type="checkbox"/> I am an Owner or <input type="checkbox"/> I am an Occupier			
Name(s):			
Affected Address:			
Postal Address: (if different to above address)			
Telephone No:		Email:	
Signature:		Date:	

Note: submissions should be based on planning merit. A 'How to Make a Submission on a Town Planning Proposal' fact sheet is available for viewing from: www.belmont.wa.gov.au.

Submission:

Additional lines over page. Attach additional sheets if required.

+	SEC Dome
⊕	Power Pole
⊙	Phone Pits
⊞	Water Conn.
TP 10.00	Top Pillar/Post
TW 10.00	Top Wall
TR 10.00	Top Retaining
TF 10.00	Top Fence

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

WARNING:
Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.

SOIL DESCRIPTION

Top Soil, Fill Sand
Light Grass Cover

NOTE: Unable to Calculate Sewer Junction Depth Due to Lack of Information on Water Corporation E-Plan. Verify Junction Invert, Depth & Details With Water Corporation. BUILDER and PLUMBER check GRADE



CLIENT NOTE: PROPOSED RETAINING WALL BY OWNER

OWNER TO PROVIDE STRUCTURAL ENGINEER'S CERTIFICATION STATING THE WALL HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE SUPPLIED DETAILS AND THAT IT IS SUITABLE TO SUPPORT ANY PROPOSED LOADS PLACED ON IT PRIOR TO THE BUILDER COMMENCING CONSTRUCTION

NOTE: REFER TO ENGINEERS DETAIL FOR PANEL & POST MAXIMUM HEIGHT

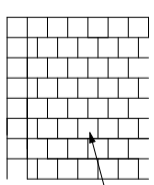
PROPOSED RETAINING WALL (S) BY OWNER (SEPERATE BUILDING PERMIT)

SET-OUT PEGS BY LICENSED SURVEYOR (4 OFF)

-WIND CLASSIFICATION (N2) AS PER AS 4055

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE BY BUILDER

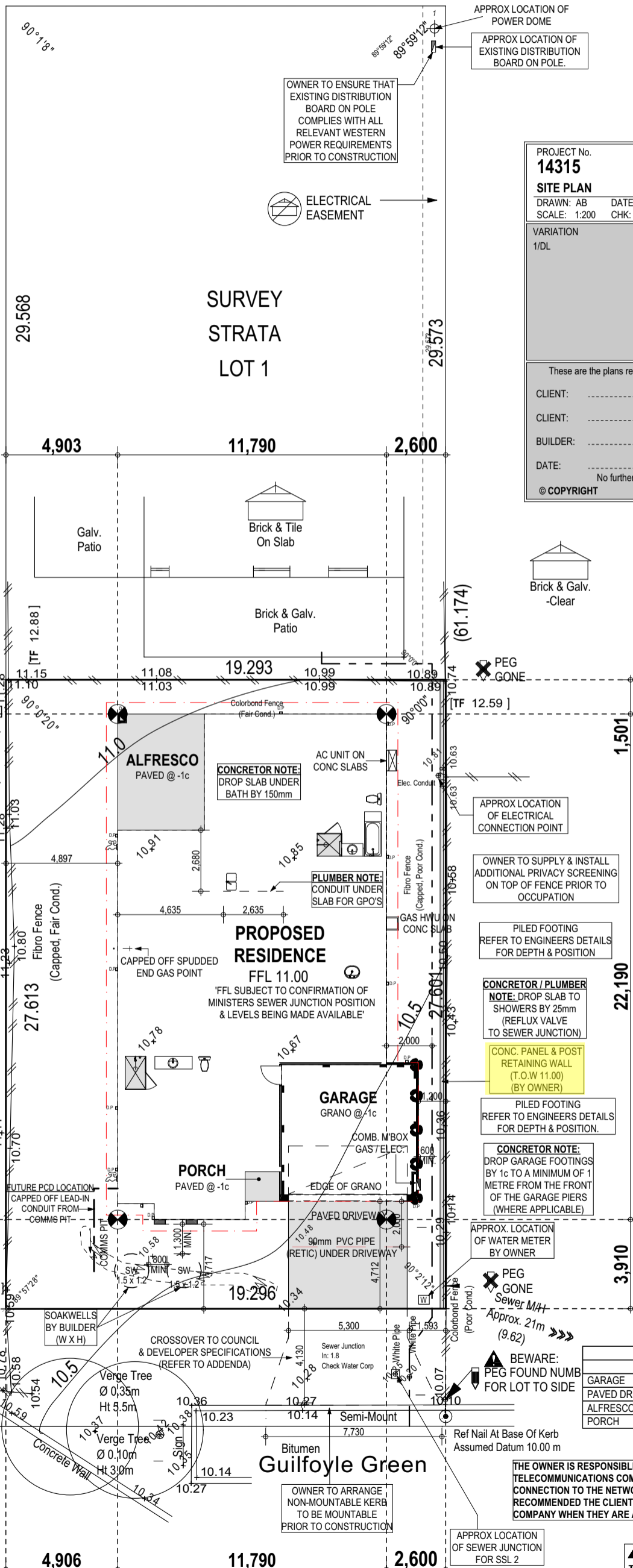
1 ROW HEADER PAVERS



PAVERS IN 90° HALF BOND
PAVING LAYOUT NOT TO SCALE

Pearl Road

19.29



PROJECT No. **14315** SHEET No. **1 of 10**
SITE PLAN
DRAWN: AB DATE: 15/07/20 REV # **B**
SCALE: 1:200 CHK: MH

VARIATION	DATE	DRAWN	CHK
1/DL	14/09/20	AB	MH

These are the plans referred to in the Building Contract

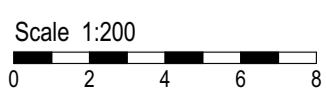
CLIENT: _____
CLIENT: _____
BUILDER: _____
DATE: _____
No further structural changes
© COPYRIGHT

Grano / Paving Areas

AREA	Perimeter
GARAGE	33.75 23.24
PAVED DRIVEWAY	26.06 20.42
ALFRESCO	19.38 17.80
PORCH	1.96 5.62

THE OWNER IS RESPONSIBLE FOR ENGAGING THE REQUIRED TELECOMMUNICATIONS COMPANY (TELSTRA/NBN CO) REGARDING CONNECTION TO THE NETWORK INCLUDING APPLICABLE FEES. IT IS RECOMMENDED THE CLIENT CONTACTS THEIR TELECOMMUNICATIONS COMPANY WHEN THEY ARE ADVISED THERE BRICKWORK IS COMPLETED.

NOTE:
TELSTRA/COMMS. PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH TELSTRA.



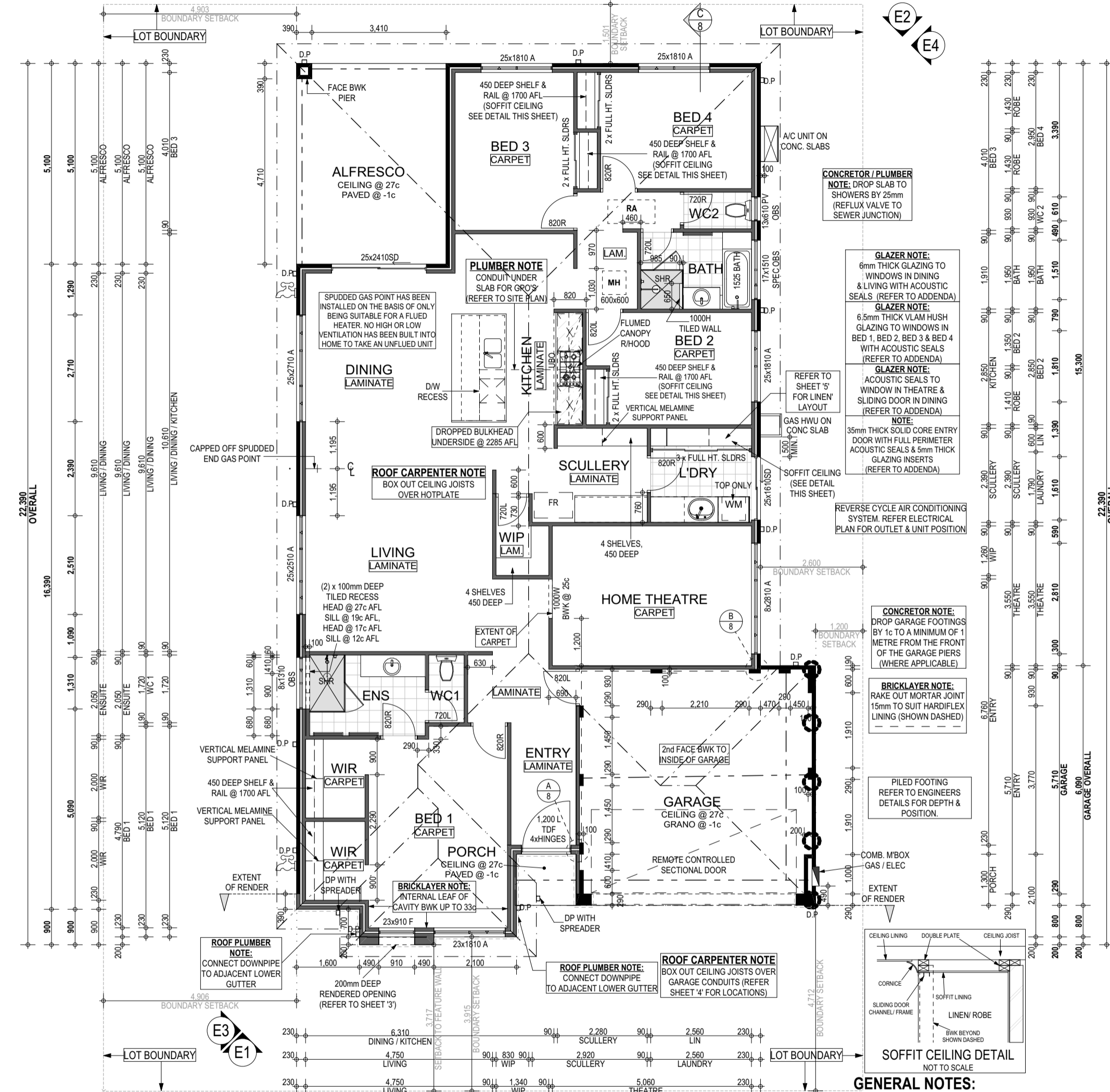
NOTES:

- COLORBOND ROOF @ 24°43 PITCH
- NON-COASTAL ZONE
- N2 WIND CLASSIFICATION (AS PER ENGINEERS CERTIFICATION OF INSPECTION)
- 30c HIGH CEILING THROUGHOUT - UNLESS NOTED OTHERWISE (NOTE: WINDOW HEADS AT 27c. DOUBLE ANGLES & BWK OVER ALL DOORS & SLIDING DOORS)
- RENDERED BWK TO FRONT ELEVATION - AS INDICATED ON ELEVATIONS
- 2c FACE BRICKWORK TO THE REMAINDER OF RESIDENCE

NOTE:

EXTERNAL FACE BRICK SIZE:
290L x 90W x 162H
ALL COURSE HEIGHTS SHOWN ARE TO STANDARD BRICK COURSING
EXTERNAL FACE BRICKWORK TO BE IN ONE THIRD BOND COURSING
FIRST COURSE OF BWK ABOVE FOOTING & SLAB TO BE 76mm CORED BRICK
WINDOWS SILLS TO BE 2c HIGH FINISHING SILL BRICKS UNLESS NOTED OTHERWISE

THE OWNER IS RESPONSIBLE FOR ENGAGING THE REQUIRED TELECOMMUNICATIONS COMPANY (TELSTRA/NBN CO) REGARDING CONNECTION TO THE NETWORK INCLUDING APPLICABLE FEES. IT IS RECOMMENDED THE CLIENT CONTACTS THEIR TELECOMMUNICATIONS COMPANY WHEN THEY ARE ADVISED THERE BRICKWORK IS COMPLETED.



GENERAL NOTES:

- REFER TO ENERGY EFFICIENCY SHEETS FOR LIGHT/ VENT REQUIREMENTS
- CORNER PLASTER BEADS TO 45° & 90° CORNERS ONLY UNLESS OTHERWISE NOTED ON PLAN
- REMOTE CONTROL SECTIONAL DOOR TO GARAGE (REFER TO ADDENDA)
- LIFT OFF HINGES TO WC DOORS
- REFER TO ADDENDA FOR BENCHTOP MATERIAL & FINISH
- DOUBLE TOWEL RAIL TO BATHROOM & ENSUITE (REFER TO ADDENDA)
- MITRED EDGE TILING THROUGHOUT WHERE APPLICABLE (REFER TO ADDENDA)
- CABINET MAKER TO CONFIRM VENTING REQUIREMENTS FOR ALL BUILT IN APPLIANCES (REFER TO ADDENDA)
- OWNER TO SUPPLY & INSTALL HANDLES TO ENSUITE, BATHROOM, KITCHEN, SCULLERY & L'DRY BASE CUPBOARDS, AFTER HANDOVER (NOTE: NO FINGER GRIPS)

PLUMBING NOTES:

- NO FLUE PIPES TO FRONT ELEVATION ROOF
- DOWNPIPES TO ROOF SHALL BE AT CENTRES TO ROOF PLUMBERS DISCRETION
- REFER TO ADDENDA FOR MAKE & MODEL OF ALL FIXTURES & FITTINGS
- COLD PLUMBING ONLY TO DISHWASHER RECESS
- EXTRA GUTTER OVERFLOW PROVISIONS MAY BE REQUIRED IN ACCORDANCE WITH NCC INSTALLED AT THE PLUMBERS DISCRETION
- OWNER TO SUPPLY, BUILDER TO INSTALL TOILETS THROUGHOUT TO BUILDERS SCHEDULE (REFER TO ADDENDA)
- OWNER TO SUPPLY, BUILDER TO INSTALL SHOWER RAIL TO ENSUITE TO BUILDERS SCHEDULE (REFER TO ADDENDA)

ROOF NOTES:

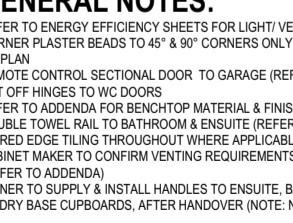
- ROOF TIE DOWN IN ACCORDANCE WITH STRUCTURAL ENGINEERS DETAILS
- ROOF COVER INSTALLED TO MANUFACTURERS SPECIFICATIONS
- TRIPLE GRIP CONNECTORS TO RAFTER-PITCHING BEAMS CONNECTIONS
- COLLAR TIES TO UNDERSIDE OF RIDGE BEAM
- ANTI-CORN TO ENTIRE ROOF
- ALL ROOF & CEILING TIMBER TO BE H2 TREATED

BWK NOTES:

- FACE BWK TO INSIDE OF GARAGE TO BE 2nd FACE WITH CONCAVE JOINT
- DIMENSION TO BWK ONLY-PLASTER MARGIN NOT ALLOWED FOR
- HOLDING DOWN RODS TO BRICK PIERS WITH BEAM ABOVE
- HOLDING DOWN STRAPS TO PIERS WITHOUT BEAM ABOVE
- HOLDING DOWN STRAPS TO PERIMETER OF HOUSE
- FLASHING REQUIRED TO BWK ABOVE WINDOWS & SLIDING DOORS WHERE NO EAVES & MORE THAN 3c BRICKWORK ABOVE WINDOWS & SLIDING DOORS WITH AN EAVE

SOFFIT CEILING DETAIL

NOT TO SCALE



MAP REF 375-37/46	LATITUDE 31o57'59.335"	LONGITUDE 115o57'8.783"
VARIATIONS These are the plans referred to in the Building Contract		
No.	DATE	DRAWN
1/DL	14/09/20	AB
CLIENT:		
CLIENT:		
BUILDER:		
DATE:		
No further structural changes		
© COPYRIGHT		
Content LIVING		
ACN 055 245 308 - B.C - 8867 Level 4, 302 Selby Street, Osborne Park W.A. 6017 P.O Box 1101 Osborne Park W.A. 6916 PH (08) 9202 5222 FAX (08) 9202 5233		
HOUSE AREAS		CLIENT: BOW
HOUSE AREA	206.48	PROJECT No. 14315
GARAGE	36.24	'ASPEN - LUXE'
ALFRESCO	19.38	FLOOR PLAN
PORCH	1.96	DRAWN: AB DATE: JUL'20
	264.06 m²	SCALE: 1:100 CHK: MH
PERIMETER	67.96m	

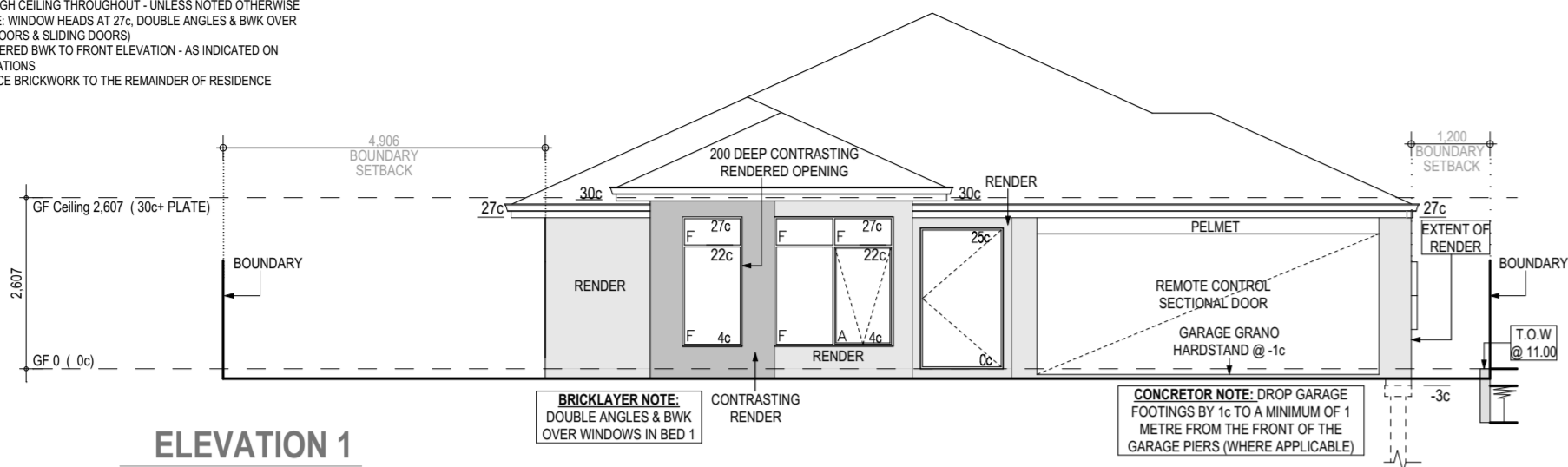
ADDRESS: SSL2, ORIGINAL LOT 26 (#28) GUILFOYLE GREEN CLOVERDALE CITY OF BELMONT	SHEET No. 2 of 9
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SSB PTY LTD RESERVES THE RIGHT TO VARY DIMENSIONS AND MATERIALS FROM THOSE ON DISPLAY. PLEASE CHECK PLANS, SPECIFICATIONS AND ADDENDA CAREFULLY. ALL DIMENSIONS TO TAKE PREFERENCE OVER SCALING.

- COPYRIGHT - THIS PLAN SHALL REMAIN THE SOLE PROPERTY OF THE BUILDER AND MUST NOT BE GIVEN, LENT, RESOLD OR OTHERWISE DISPOSED OF OR COPIED WITHOUT THE PERMISSION IN WRITING OF THE BUILDER

NOTES:

- COLORBOND ROOF @ 24°43 PITCH
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ELEVATION 1

BRICKLAYER NOTE:
DOUBLE ANGLES & BWK OVER WINDOWS IN BED 1

CONCRETOR NOTE: DROP GARAGE FOOTINGS BY 1c TO A MINIMUM OF 1 METRE FROM THE FRONT OF THE GARAGE PIERS (WHERE APPLICABLE)

PILED FOOTING REFER TO ENGINEERS DETAILS FOR DEPTH & POSITION

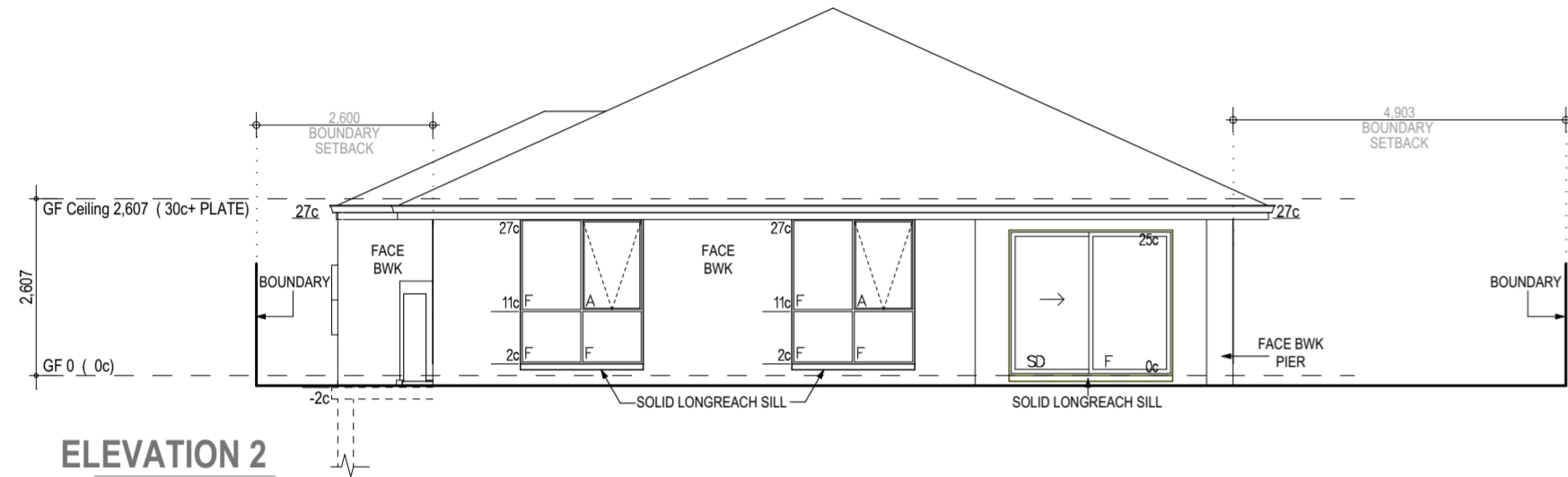
GLAZER NOTE:
6mm THICK GLAZING TO WINDOWS IN DINING & LIVING WITH ACOUSTIC SEALS (REFER TO ADDENDA)

GLAZER NOTE:
6.5mm THICK VLAM HUSH GLAZING TO WINDOWS IN BED 1, BED 2, BED 3 & BED 4 WITH ACOUSTIC SEALS (REFER TO ADDENDA)

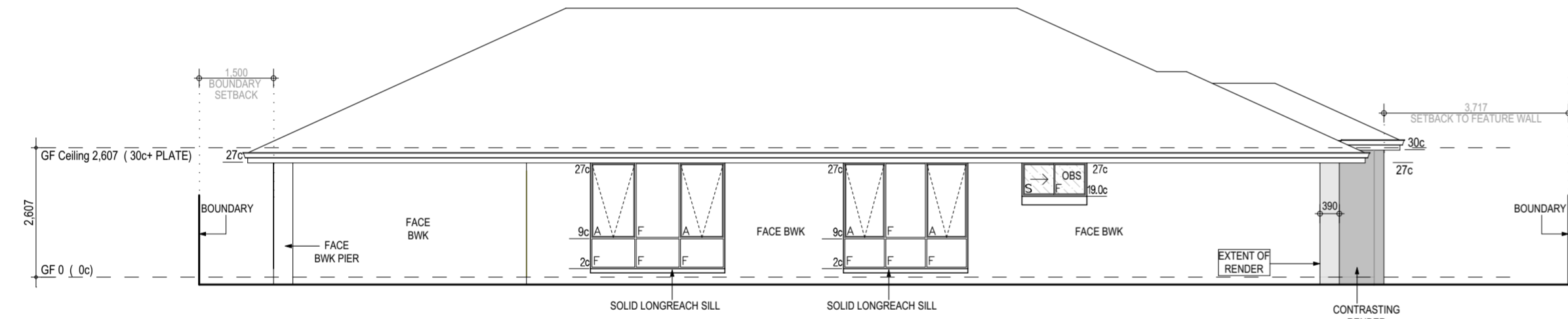
GLAZER NOTE:
ACOUSTIC SEALS TO WINDOW IN THEATRE & SLIDING DOOR IN DINING (REFER TO ADDENDA)

NOTE:
35mm THICK SOLID CORE ENTRY DOOR WITH FULL PERIMETER ACOUSTIC SEALS & 5mm THICK GLAZING INSERTS (REFER TO ADDENDA)

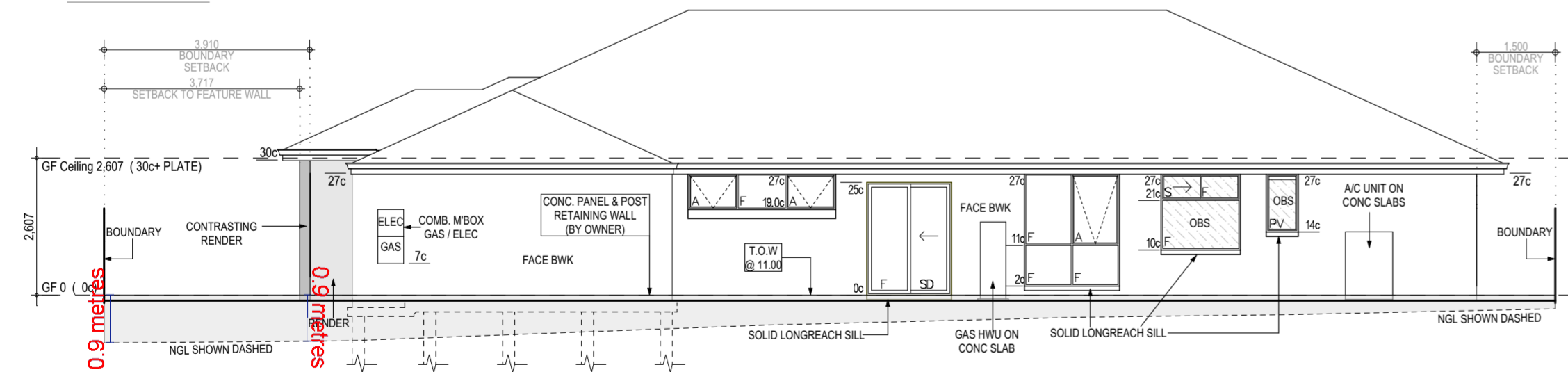
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WINDOWS SILLS TO BE 2c
HIGH FINISHING SILL BRICKS UNLESS NOTED OTHERWISE



ELEVATION 2



ELEVATION 3



ELEVATION 4

0.9 metres

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1/DL	14/09/20	AB
2/DL	15/10/20	MH
3/DL	06/11/20	MF
CLIENT: _____		
BUILDER: _____		
DATE: _____		
No further structural changes		
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P.O. Box 1101, Osborne Park, W.A. 6016		
PH (08) 9202 5222		
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HOUSE AREAS	CLIENT: BOW	PROJECT No: 14315
HOUSE AREA 206.48		'ASPEN - LUXE'
GARAGE 36.24		
ALFRESCO 19.38		
PORCH 1.96		
264.06 m²	ADDRESS: SSL2, ORIGINAL LOT 26 (#28) GUILFOYLE GREEN	SHEET No: 3 of 9
PERIMETER 67.96m	CITY OF BELMONT	ELEVATIONS
		DRAWN: AB DATE: JUL 20
		SCALE: 1:100 CHK: MH