

Development Application Submission Form

This submission form is provided for your convenience. There is no obligation to make a submission. If you wish to make a submission, please complete this form and email to: planning@belmont.wa.gov.au or post to: City of Belmont, Locked Bag 379, Cloverdale WA 6985.

Written submissions should be lodged with the City within the required comment period. If no comments are received by the closing date, we will assume that you have no comment you wish to make and the application will be assessed and determined on its merits and without any further consultation.

Please note also that although submissions will assist the City in making a determination on the application, they should not be construed as the sole basis for the City's decision. The application will be determined on the relevant planning merits and the City may not agree with all or part of your submission.

DEVELOPMENT APPLICATION DETAILS	
DA Number:	30/2026/DA
Property Address:	67 Moreing Street REDCLIFFE 6104 (Lot 4800 PL 5047)
Proposed Development:	Single House- R-Code Variation
Zoning:	Residential R20
Enquiries:	Planning Officer, Lauren Cook 9477 7239

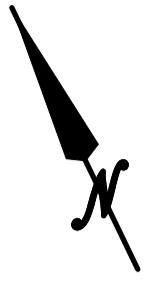
DETAILS OF PERSON(S) MAKING SUBMISSION			
<input type="checkbox"/> I am an Owner and Occupier or <input type="checkbox"/> I am an Owner or <input type="checkbox"/> I am an Occupier			
Name(s):			
Affected Address:			
Postal Address: (if different to above address)			
Telephone No:		Email:	
Signature:		Date:	

Note: submissions should be based on planning merit. A 'How to Make a Submission on a Town Planning Proposal' fact sheet is available for viewing from: www.belmont.wa.gov.au.

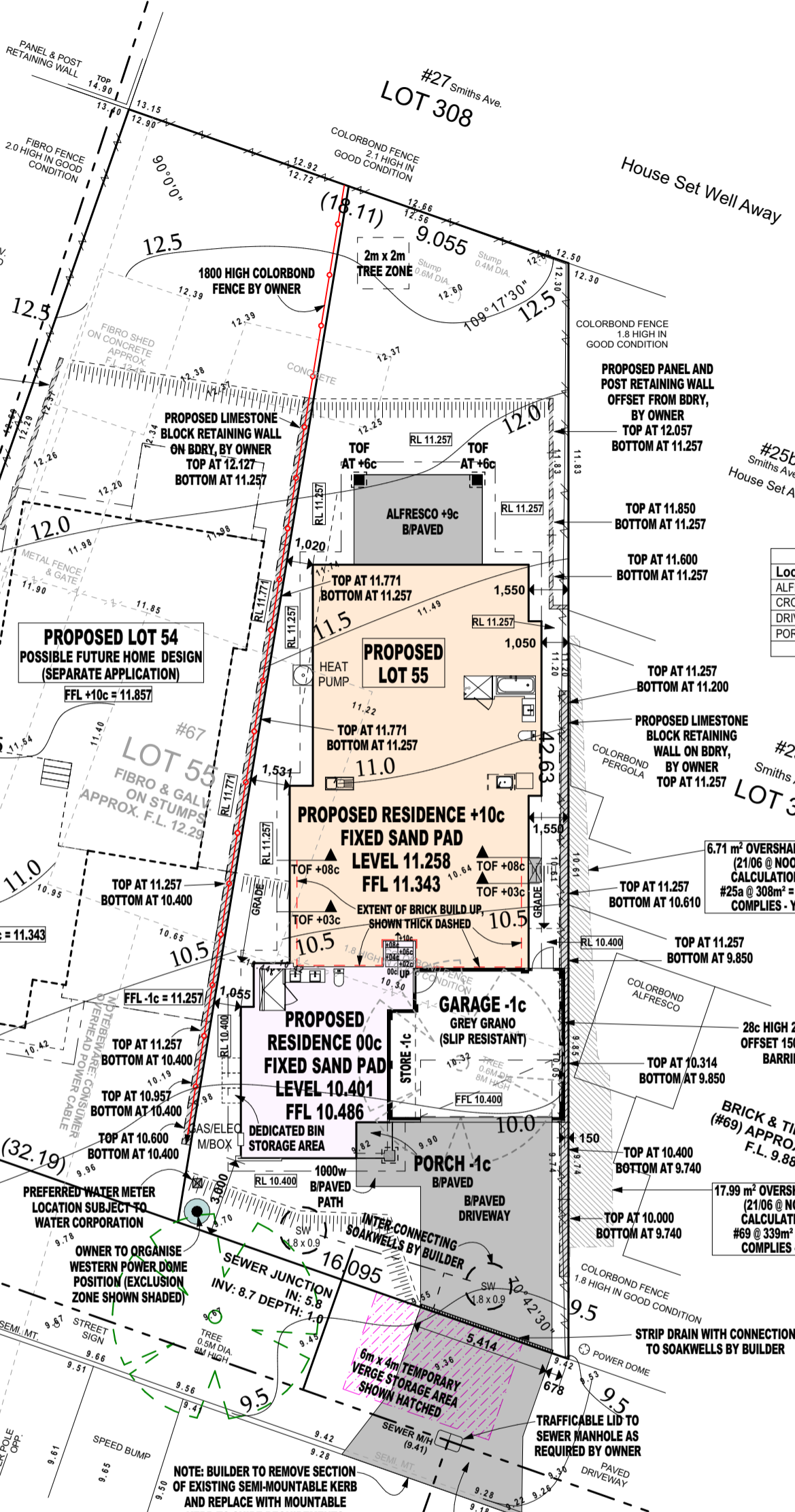
Submission:

Additional lines over page. Attach additional sheets if required.

Lot 55 (#67) (1012m²)



DEMOLITION BY OWNER

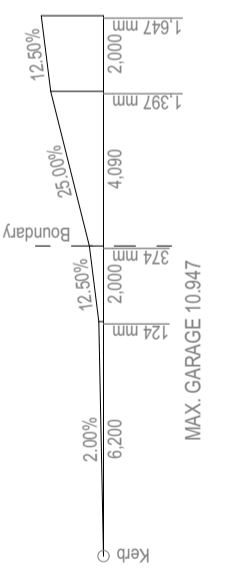


Paving Area		
Location	Area	Perimeter
ALFRESCO	17.16	16.98
CROSSOVER	37.77	26.00
DRIVEWAY/PATH	46.53	32.48
PORCH	1.87	5.60
TOTAL	103.33 m²	81.06 m

SITE REQUIREMENTS	
ZONING	R20
LDP APPLIC.	N/A
SITE COVER	44% of 50%
AVERAGE	6.0m
FRONT MIN.	3.0m
FRONT MAX.	N/A
LOT AREA	506
VO REQ.	YES

6.71 m² OVERSHADOWING (21/06 @ NOON)
CALCULATIONS:
#25a @ 308m² = 2.2%
COMPLIES - YES

17.99 m² OVERSHADOWING (21/06 @ NOON)
CALCULATIONS:
#69 @ 339m² = 5.3%
COMPLIES - YES



WARNING:
POSSIBLE COASTAL CONDITIONS MAY APPLY. APPROX. 900m TO THE SWAN RIVER

PROPOSED SITE PLAN

NOTE: STORMWATER DISPOSAL TO SHIRE REQUIREMENTS BY BUILDER

Soak Well Type No.		
SW 1800x900	2	4.6 m ³
Total Capacity		4.6 m ³
Roof Area GF		271.9 m ²
Paved Area		46.5 m ²
Total Area		318.4 m²
Capacity Required (Area x 0.0130)		4.1 m³
Extra Capacity Provided		0.4 m³

Address: **LOT 55 (#67)**
MOREING STREET, REDCLIFFE

Client: **LLOYD**

Local Authority: **CITY OF BELMONT**

Plan: 161615 C/T Vol: 1114/930

Map Reference: 270,J:5

Date: 06/01/26 SCALE 1:200

These are the plans referred to in our contract

OWNER: _____ BUILDER: _____

OWNER: _____ WITNESS: _____

Job No. **9566**

Footpath: Nil
Water: Yes
Telstra: Yes
Gas: Yes
Drainage: Good
Re-Peg: Yes

Road: Bitumen
Kerb: Semi. Mt.
Electricity: U/Ground, O/Head Opp.
Soil: Sand
Vegetation: See Survey
Sewer: Yes Depth: 1.0 (Both)

Notes: Owner to Check Certificate of Title for easements covenants etc. This plan is a site contour survey only. Boundary peg positions and location of fences or walls, in relation to the boundary, is not guaranteed. Sewer information shown is from W.A.W.A. plans. Check minimum clearances, as no liability can be accepted. Earthworks/set out dimensions may vary on site at builder's discretion.

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MOREING STREET, REDCLIFFE

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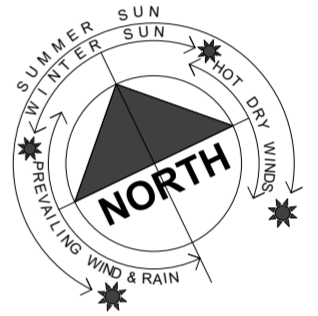
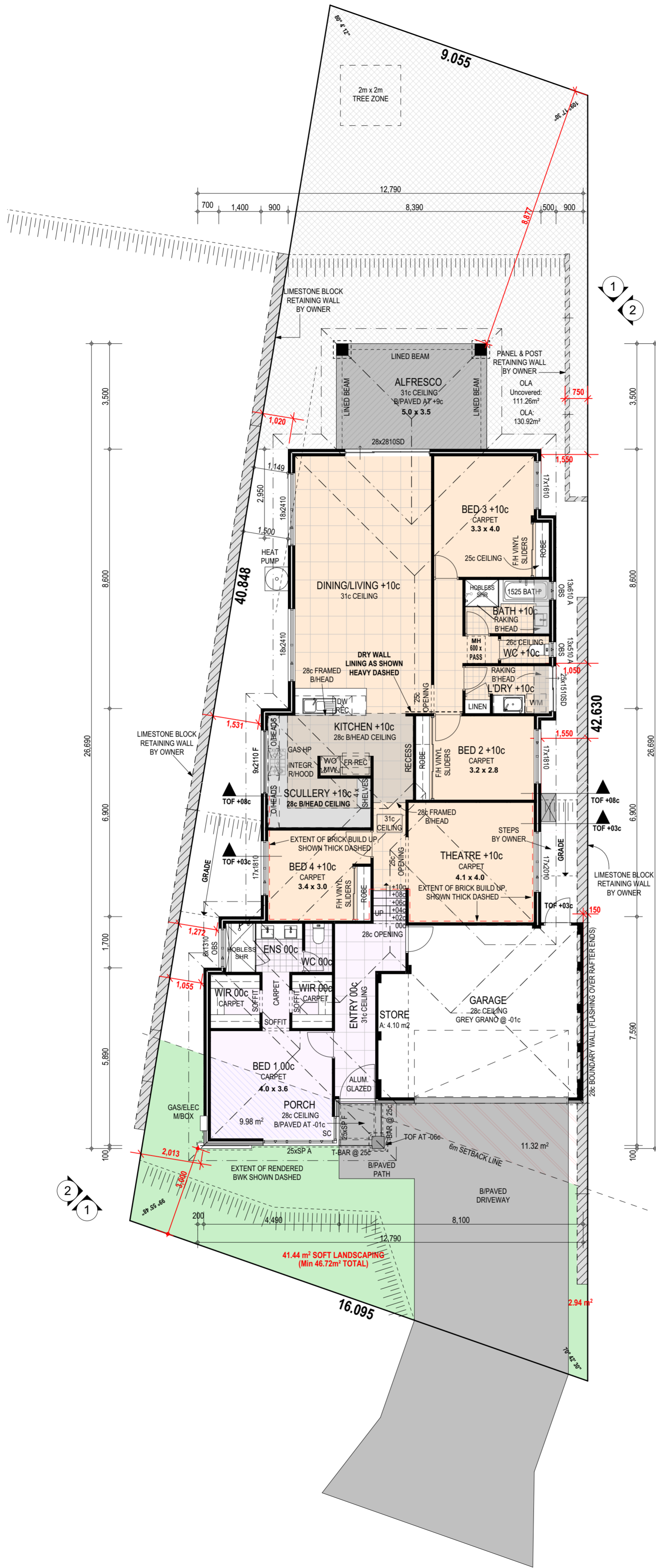
Date: 06/01/26

Our Job No. **76718**

Drake Surveys

81 FIFE CIRCLE
BELMONT, WA 6104
PH 9332 4948
FAX 9332 3014

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Application No. 30/2026/DA



SITE COVERAGE	
ZONED	R20
% ALLOWED	50%
SITE AREA	505.97m ²
SITE COV. AREA	222.75m ²
SITE COV. = 44.0%	
OUTDOOR LIVING REQUIREMENTS	
OUTDOOR LIVING	REQUIRED 30.0m ² ACHIEVED 130.9m ²
UNCOVERED AREA	REQUIRED 20.0m ² ACHIEVED 111.3m ²

Senior Design & Sales Consultant
 Mac MacKenzie
 Mobile: 0402 439 889
 Email: macm@rossnorthgroup.com.au

GENERAL NOTES:
 2c FACE BRICKWORK EXTERNALLY THROUGHOUT UNLESS NOTED OTHERWISE

COMPLIANCE NOTES:
PLANNING
 PLANNING REQ. DUE TO SUB DIVISION SITE WORKS, SOFT LANDSCAPING AND LIVING/DINING WINDOW SETBACK

ACOUSTIC AND NOISE
 NOT APPLICABLE

FLOODPLAIN AFFECTED
 NOT APPLICABLE

PROJECT INFO:
 LDP: N/A
 Zoning: R20
Primary Setbacks:
 Minimum 3.0m Maximum N/A
 Average 6.0m
 Estate: N/A
 Guidelines: N/A
 Climate Zone: 13
 BPA Zone: NO
 Coastal: N/A
 Acoustic Req: N/A

FLOOR AREAS		
	AREA	PERIMETER
ROOF	271.90	81.36
INTERNAL WALLS		
TOTAL LENGTH (m)		79.81

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Ross North GROUP
 45 YEARS STRONG
 Complete Living Series
 Custom Design
 Complete Living Spec.
 Job N°: 9566

PROPOSED NEW HOME:
 For Mr B. Lloyd & Mrs L. Lloyd
 At Lot 55 (#67) Moreing Street,
 Redcliffe

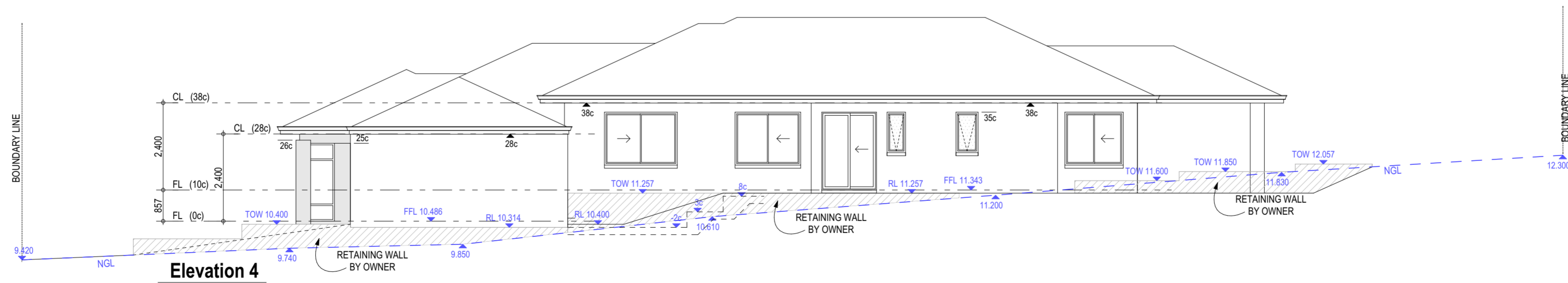
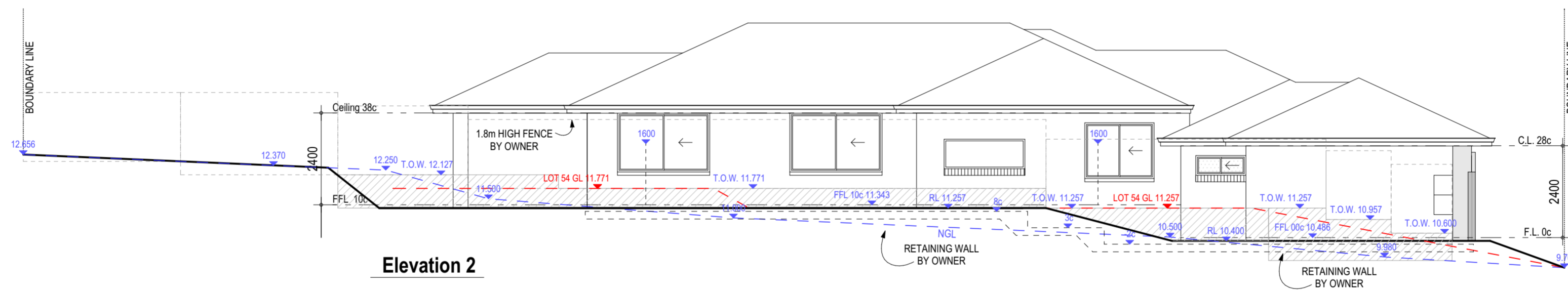
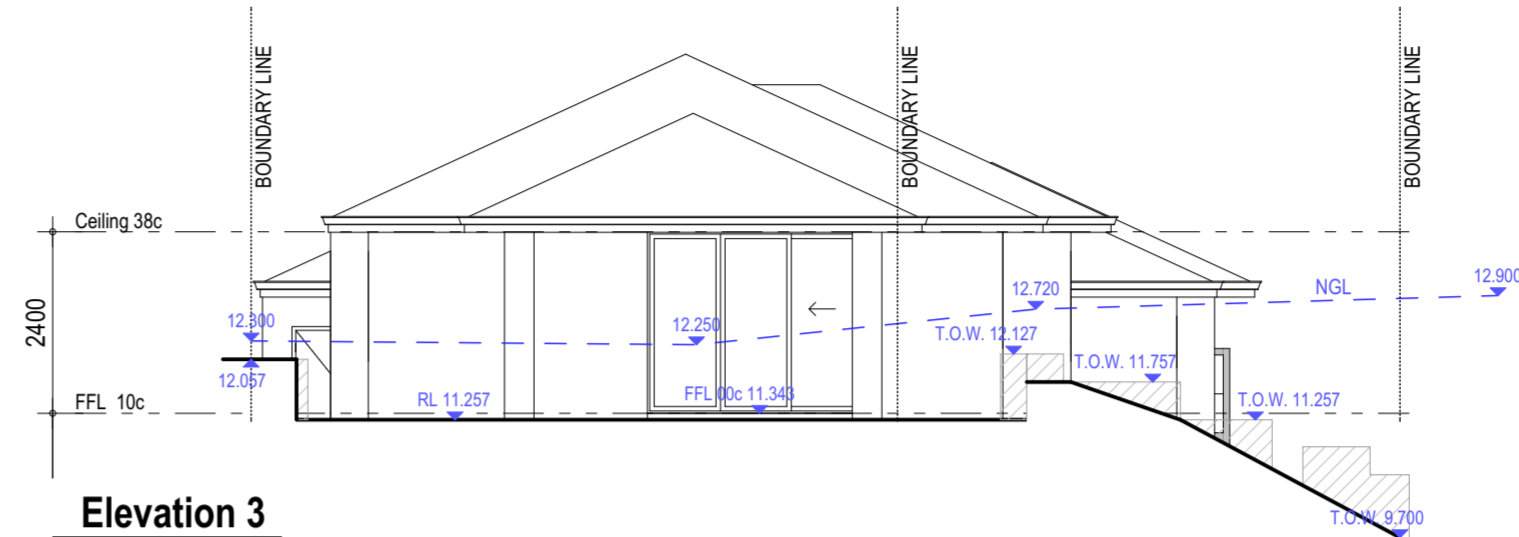
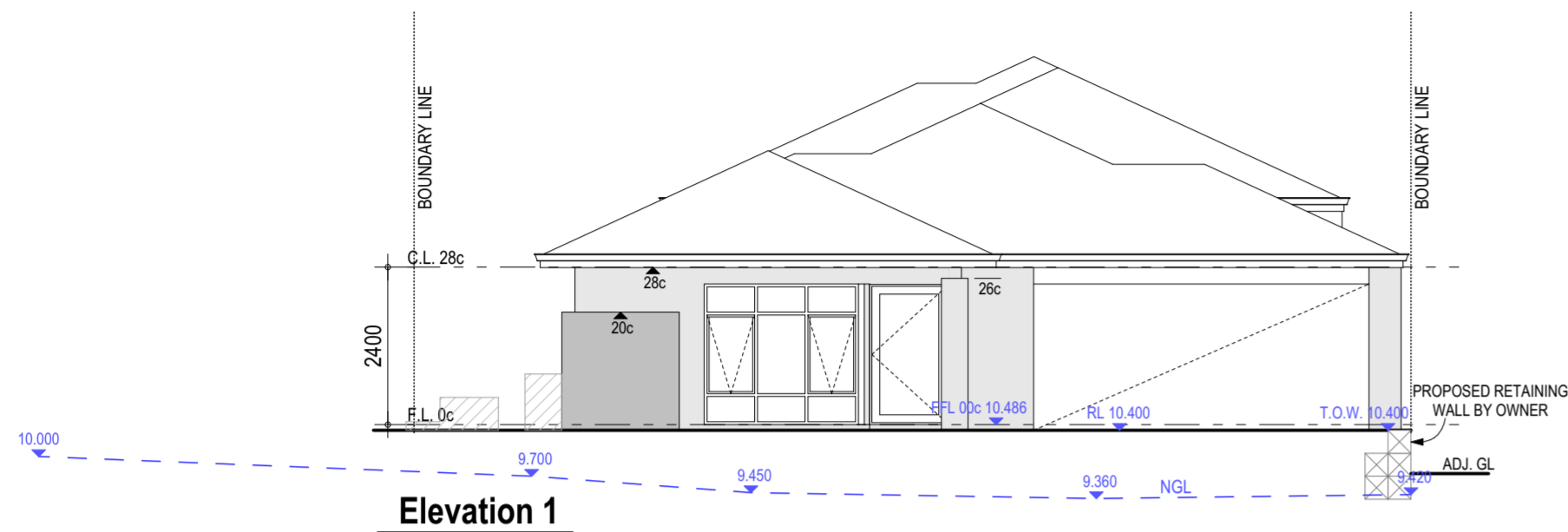
These are the plans referred to in our contract
 DATE: _____
 OWNER: _____ BUILDER: _____
 OWNER: _____ WITNESS: _____

CLASS: Nxx
 SHIELDING: xx
 BPA: NO
 SCALE: 1:100
 SHEET: 2 of 3

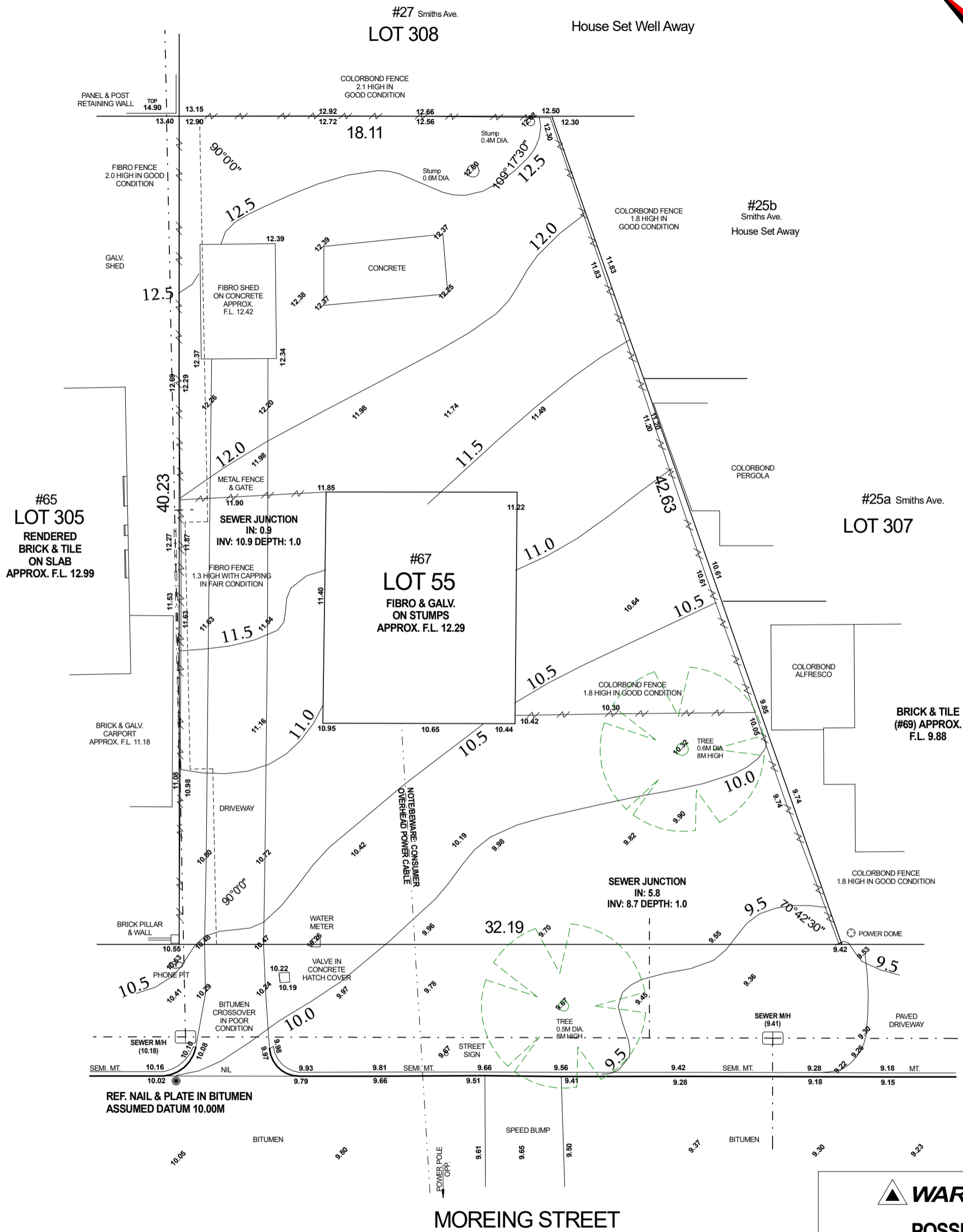
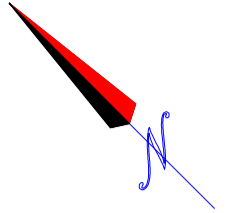
© COPYRIGHT BC 6552. This plan shall remain the sole property of the builder and must not be given, lent, resold hired out or otherwise disposed of or copied without the permission in writing of the builder. Ross North Group reserves the right to vary dimensions and materials from those on display. Client to check plans, specifications and addenda carefully. All dimensions strictly to take preference over scaling. Dimensions shown are for brickwork only & do not include plaster or tile thickness. Plumber Note floor wastes to be located as per plumbing plan. Rainwater pipes (RWP) positions shall be located as indicated on plans - roof plumber shall contact the office/supervisor if any change in positioning is required.

ELEVATION LEGEND	
ROOF COVER	COLOURED CORRUGATED METAL @ APPROX. 26° PITCH
BRICKWORK	2c FACE BRICK
	RENDERED BRICKWORK
	CONTRASTING RENDERED BRICKWORK
	FOOTING AS PER ENGINEERS (SHOWING CASING)
DL	DOUBLE LINTELS
	RETAINING WALL
	NATURAL GROUND LEVEL AT BOUNDARY
	BOUNDARY LINE

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 Application No. 30/2026/D



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Date: 06/01/26

ROSS NORTH HOMES

Sheet Job No. **9566**

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Telstra: Yes
Gas: Yes
Drainage: Good
Re-Peg: Yes

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Kerb: Semi. Mt.
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DRAWN	DATE	CHKD	DESCRIPTION

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61 FIFE CIRCLE
BULLCREEK, WA 6179
PH 9332 4948
FAX 9332 3014