

Development Application Submission Form

This submission form is provided for your convenience. There is no obligation to make a submission. If you wish to make a submission, please complete this form and email to: planning@belmont.wa.gov.au or post to: City of Belmont, Locked Bag 379, Cloverdale WA 6985.

Written submissions should be lodged with the City within the required comment period. If no comments are received by the closing date, we will assume that you have no comment you wish to make and the application will be assessed and determined on its merits and without any further consultation.

Please note also that although submissions will assist the City in making a determination on the application, they should not be construed as the sole basis for the City's decision. The application will be determined on the relevant planning merits and the City may not agree with all or part of your submission.

DEVELOPMENT APPLICATION DETAILS	
DA Number:	428/2024
Property Address:	26 Beverley Road CLOVERDALE 6105 (Lot 60 PL 8292)
Proposed Development:	Multiple Dwellings (13 units)
Zoning:	Residential R20/R50/R100
Enquiries:	Senior Planning Officer, Nicholas Reddy 08 9477 7276

DETAILS OF PERSON(S) MAKING SUBMISSION			
<input type="checkbox"/> I am an Owner and Occupier or <input type="checkbox"/> I am an Owner or <input type="checkbox"/> I am an Occupier			
Name(s):			
Affected Address:			
Postal Address: (if different to above address)			
Telephone No:		Email:	
Signature:		Date:	

Note: submissions should be based on planning merit. A 'How to Make a Submission on a Town Planning Proposal' fact sheet is available for viewing from: www.belmont.wa.gov.au.

Submission:

Additional lines over page. Attach additional sheets if required.

[illegible]

Attach additional sheets if required.



City of Belmont
AMENDED PLANS
RECEIVED 08/08/2025
Application No: 428/2024

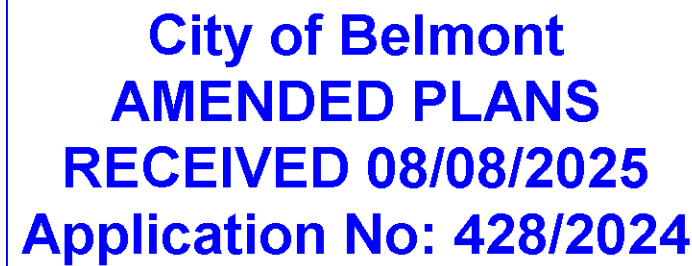





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 AMENDED PLANS
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ac	= BRICK COURSE HEIGHT	ac	= WATER CLOSET
bc	= BETH	aw	= WASHING MACHINE
cd	= DOWNPIPE	dy	= DRYER
sp	= SPRINKLER	es	= DISHWASHER
dr	= RAIN WATER HEAD	gk	= GASK
dh	= DOOR HEIGHT OPENING	wb	= WALL OVEN
ac	= AIR-CONDITIONING	ufb	= UNDER BENCH OVEN
mh	= MANNHOLE	vb	= VANITY BASIN
sa	= SMOKE ALARM	hb	= HAND BASIN
bs	= BEDROOM SOUNDER	tr	= TROUGH
td	= THERMAL DETECTOR	hp	= HOT PLATE
fw	= FLOOR WASTE	rn	= RANGEROOD
tl	= TUN-GISH	ch	= OVERHEAD CUPBOARD

Apartment to have SUB water meters installed in kitchen cupboards below

washer/dryer to be supplied and installed for ALL apartments
in lieu of clothes drying facilities



	LOW LIGHT IN WALL (DAY NIGHT SENSOR)
	LED DOWNLIGHT (DAY NIGHT SENSOR)
	EV CHARGING PILLAR
	APARTMENT NUMBER SIGNAGE

Unit Area Schedule

Ap#	Plot Ratio Area	Affresco	Balcony	Store	Total
1	56.02m ²	24.18m ²		5.27m ²	85.47m ²
2	72.90m ²		10.81m ²	6.75m ²	90.46m ²
3	78.62m ²		10.75m ²	4.26m ²	91.88m ²
4	86.35m ²	12.54m ²		4.00m ²	102.89m ²
5	63.86m ²	9.38m ²		4.26m ²	77.50m ²
6	72.90m ²		10.09m ²	4.26m ²	87.25m ²
7	78.62m ²		10.13m ²	4.26m ²	91.21m ²
8	86.35m ²		12.23m ²	4.00m ²	102.55m ²
9	63.86m ²		9.27m ²	4.26m ²	77.39m ²
10	72.90m ²		10.09m ²	4.00m ²	86.99m ²
11	78.62m ²		10.13m ²	4.26m ²	91.21m ²
12	86.35m ²		12.23m ²	4.26m ²	102.81m ²
13	63.86m ²		9.27m ²	4.26m ²	77.39m ²
Total	955.72m²				1164.92m²



scale1:100
© copyright

Client
Bitat
Site Address
**Proposed Multiple Dwellings
26 Beverley Road, Cloverdale**



P: 9328 7577 M: 0411 105 009
E: info@markanthonydesign.com.au
A: 9/18 Brisbane Street (cnr Bulwer) Perth WA 6000
www.markanthonydesign.com.au

CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK. TAKE WRITTEN DIMENSIONS IN PREFERENCE TO SCALE. SHOULD ANY DISCREPANCIES OCCUR, NOTIFY THE DESIGNER IMMEDIATELY. REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL REQUIREMENTS.

checked MA	drawn m.stav
scale 1:100 (A1)	date 31.07.2025
issued for	

Planning Approval

JOB No.
2677
SHEET No.

02 of 11

REV No.
Rev A - 25.03.2025
Rev B - 31.07.2025

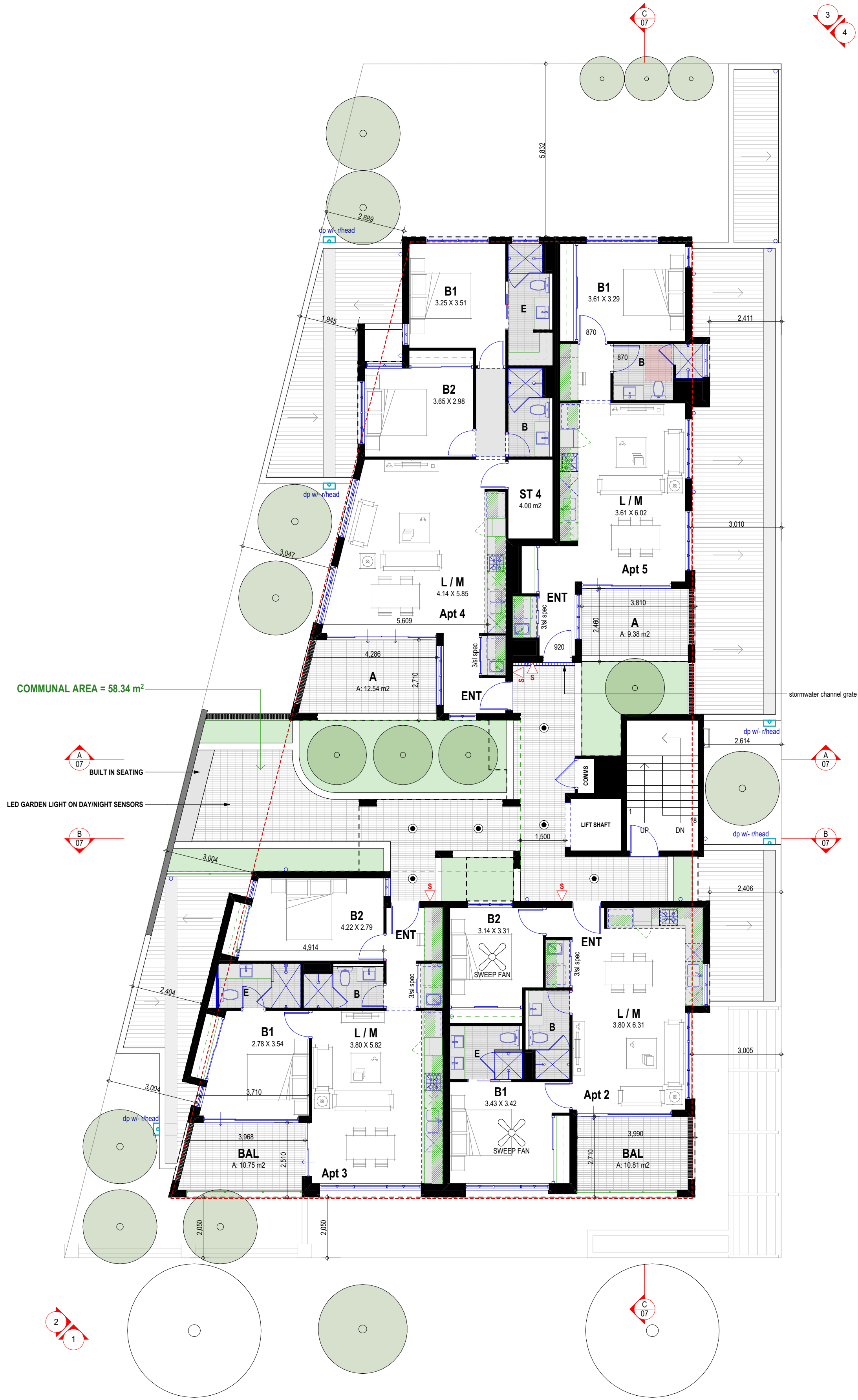
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DESCRIPTION.
Council RFI
DRP report response

mark anthony design

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Total	955.72m²				1164.92m²



1st Floor Plan
scale 1:100
© copyright

Client
Bitat
Site Address
Proposed Multiple Dwellings
26 Beverley Road, Cloverdale



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drawn m.stav
date 31.07.2025
SHEET No. 03 of 11

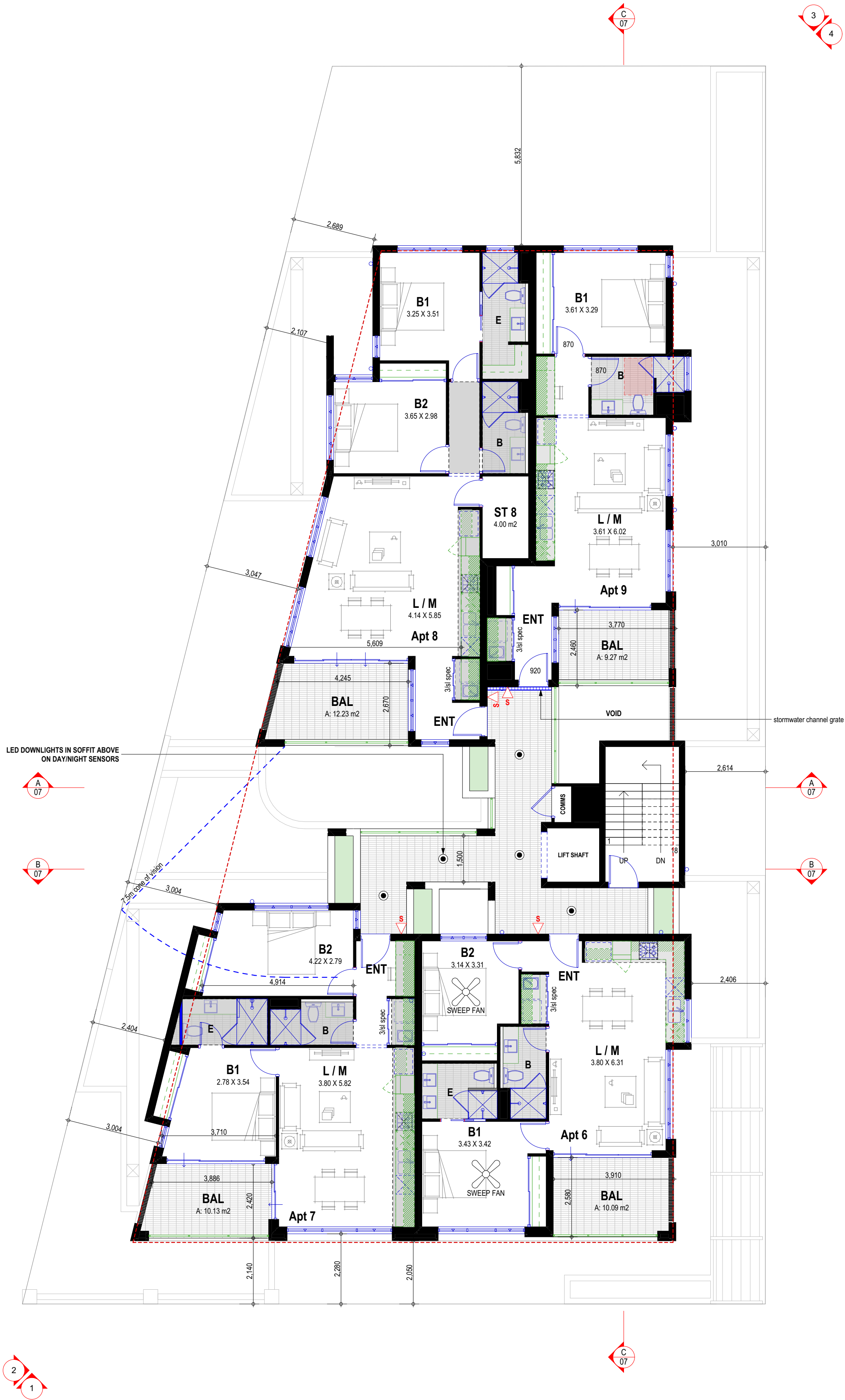
JOB No. 2677
REV No. Rev A - 25.03.2025
Rev B - 31.07.2025

DESCRIPTION:
Council RFI
DRP report response

mark anthony design

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	LOW LIGHT IN WALL (DAY NIGHT SENSOR)
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	EV CHARGING PILLAR
	APARTMENT NUMBER SIGNAGE

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2nd Floor Plan
scale 1:100
© copyright

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30/01/2025
31/07/2025
SHEET No. 04 of 11

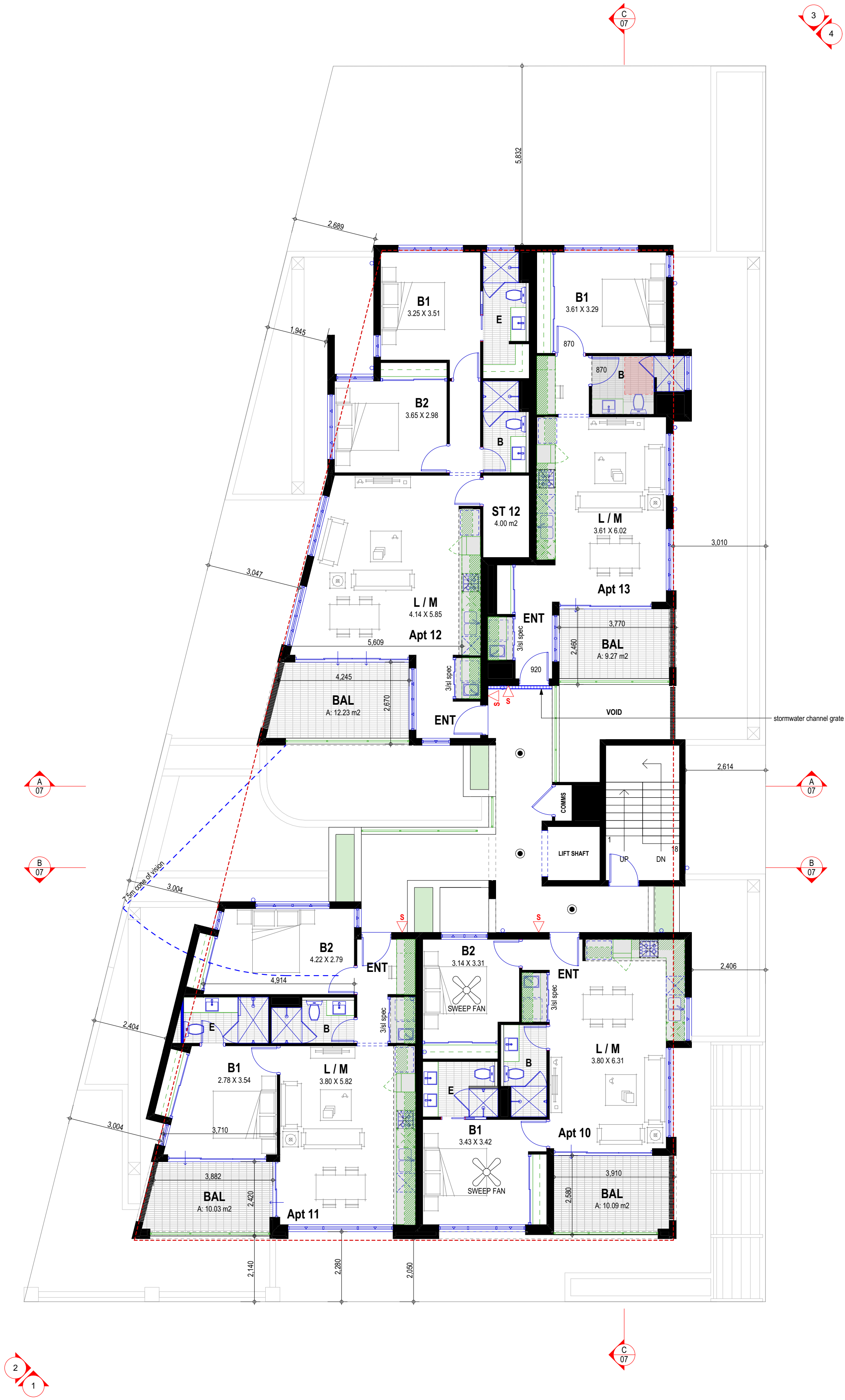
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mark anthony design

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3	76.82m²		10.75m²	4.26m²	91.83m²
4	86.32m²	12.54m²		4.00m²	102.86m²
5	63.86m²	9.38m²		4.26m²	77.50m²
6	72.90m²		10.09m²	4.26m²	87.25m²
7	76.82m²		10.13m²	4.26m²	91.21m²
8	86.32m²		12.23m²	4.00m²	102.55m²
9	63.86m²		9.27m²	4.26m²	77.39m²
10	72.90m²		10.09m²	4.00m²	86.99m²
11	76.82m²		10.13m²	4.26m²	91.21m²
12	86.32m²		12.23m²	4.26m²	102.81m²
13	63.86m²		9.27m²	4.26m²	77.39m²
Total	955.72m²				1164.92m²



Elevation 1

scale 1:100



Elevation 3

scale 1:100



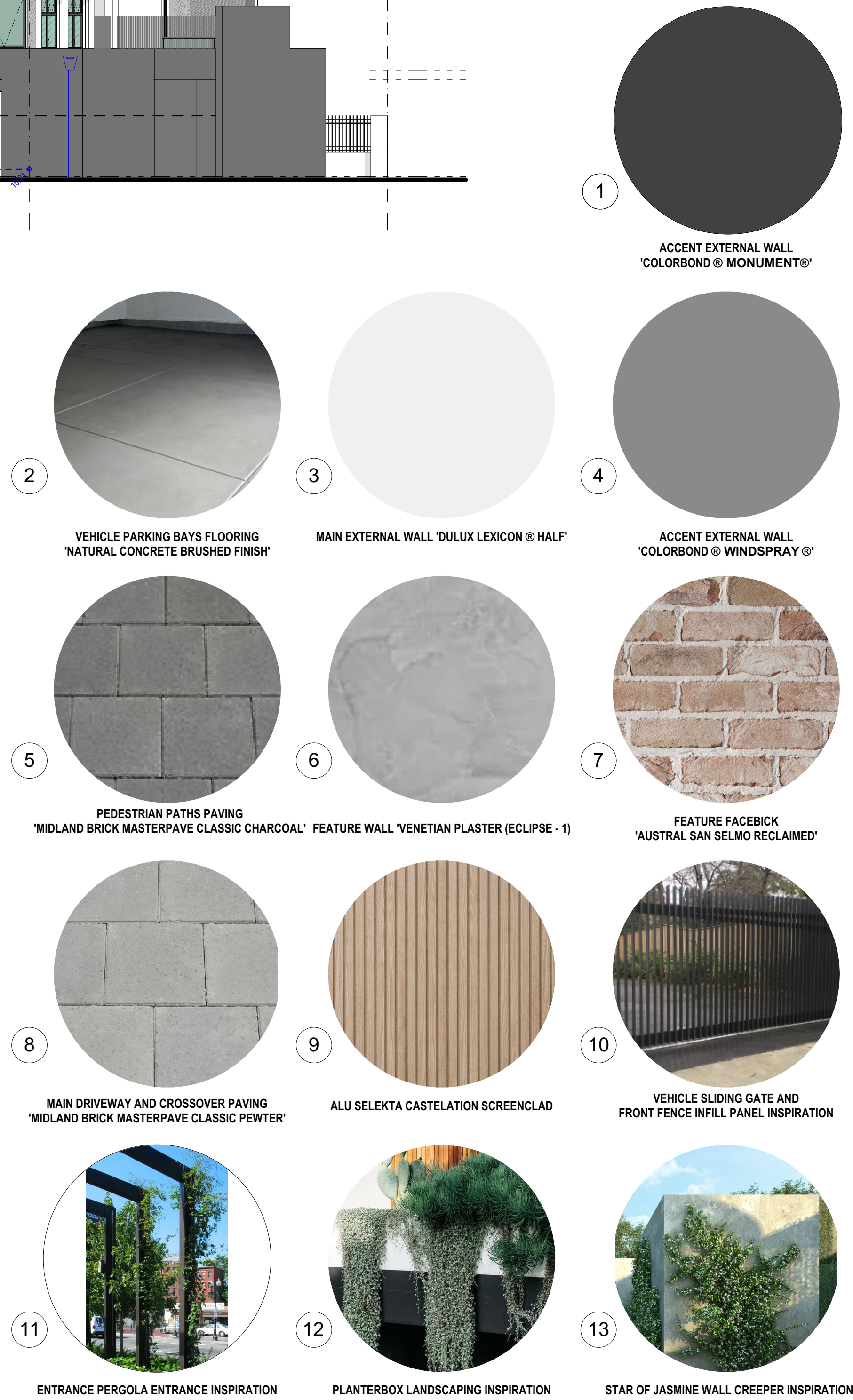
Elevation 2

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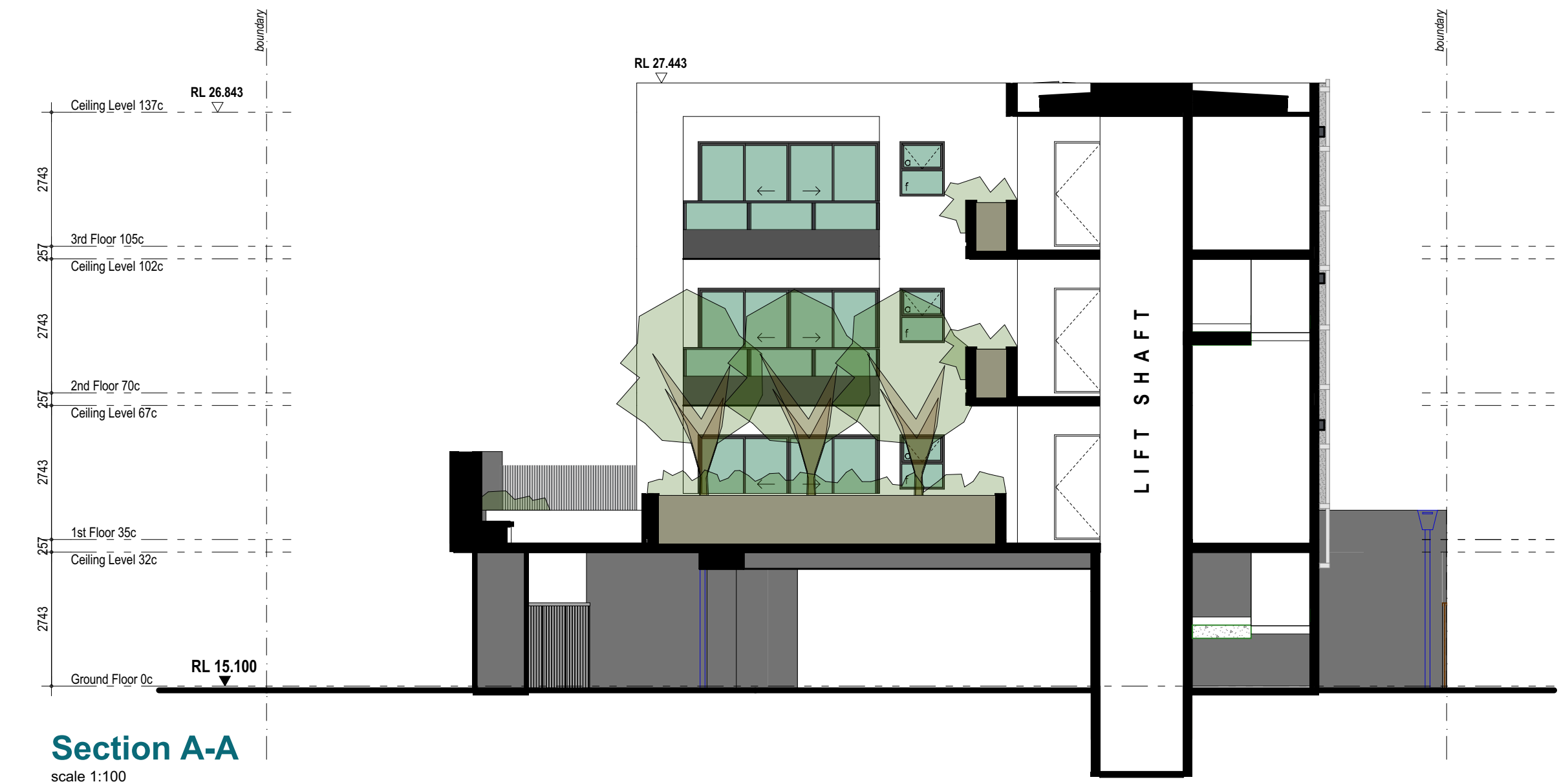
Elevation 4

scale 1:100



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Section A-A
scale 1:100



Section B-B
scale 1:100



Section C-C
scale 1:100

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Roof Plan

scale 1:100

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Client
Bitat
Site Address
Proposed Multiple Dwellings
26 Beverley Road, Cloverdale



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E: info@markanthonydesign.com.au
A: 9/18 Brisbane Street (cnr Bulwer) Perth WA 6000
www.markanthonydesign.com.au

checked MA
scale 1:100 (A1)
issued for Planning Approval

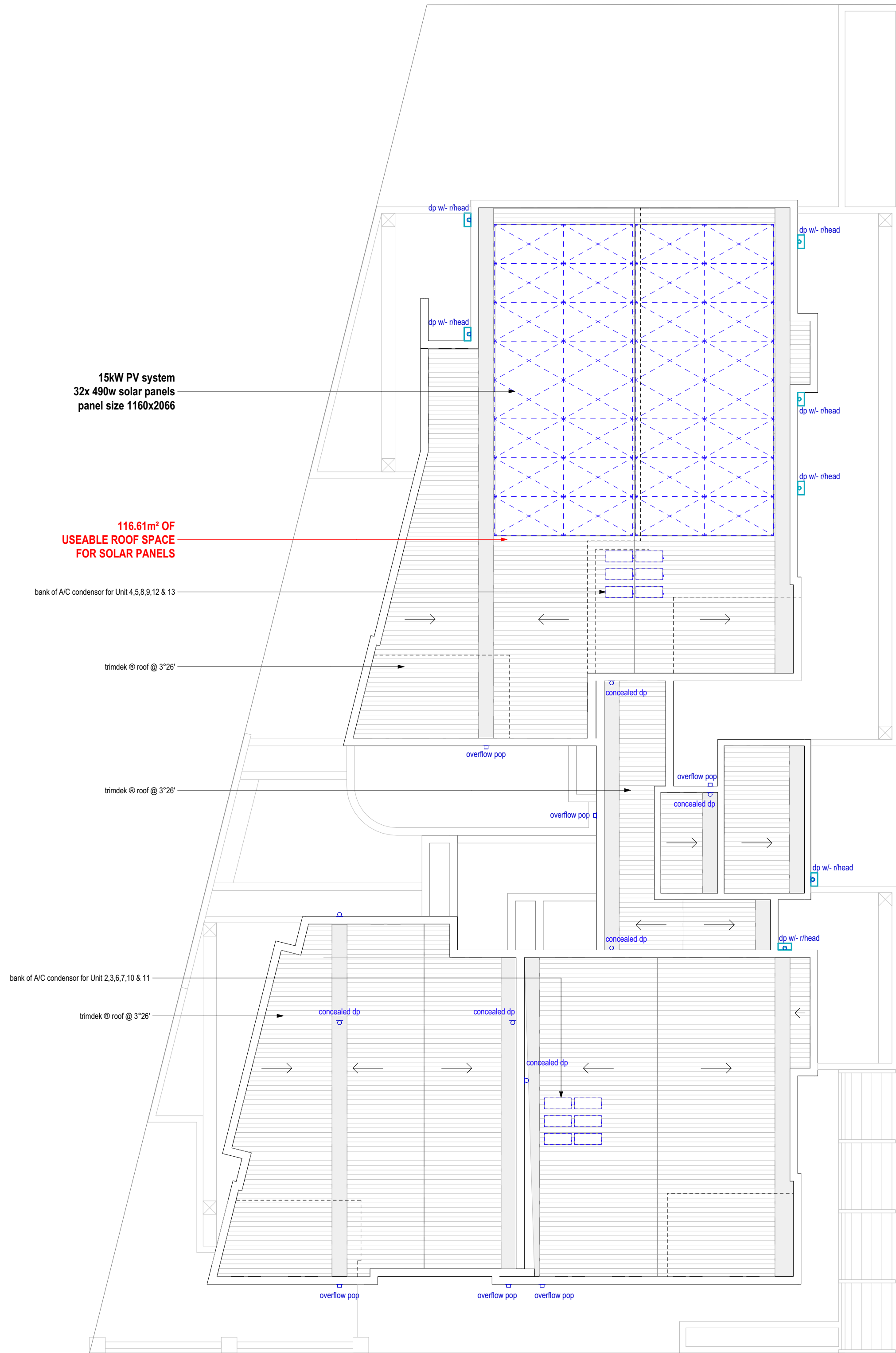
drawn m.stav
date 31.07.2025
SHEET No. 08 of 11

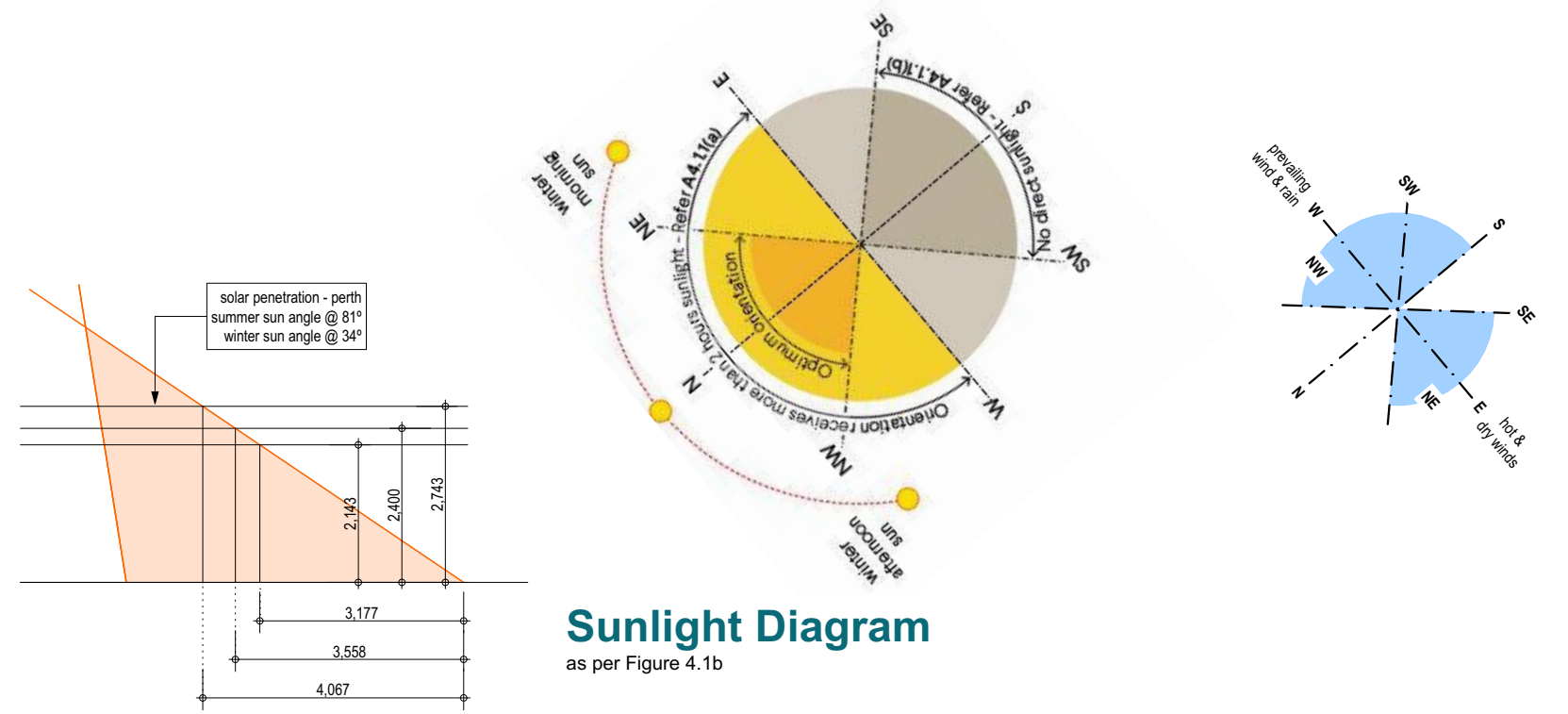
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REV No. Rev A - 25.03.2025
Rev B - 31.07.2025

DESCRIPTION:
Council RFI
DRP report response

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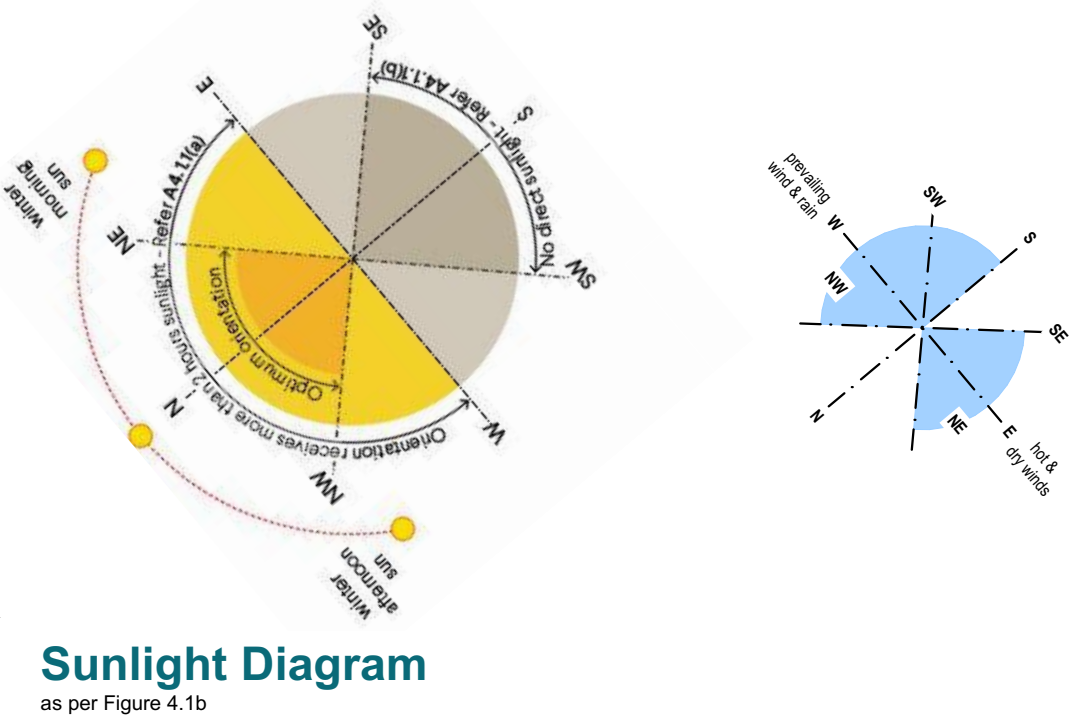
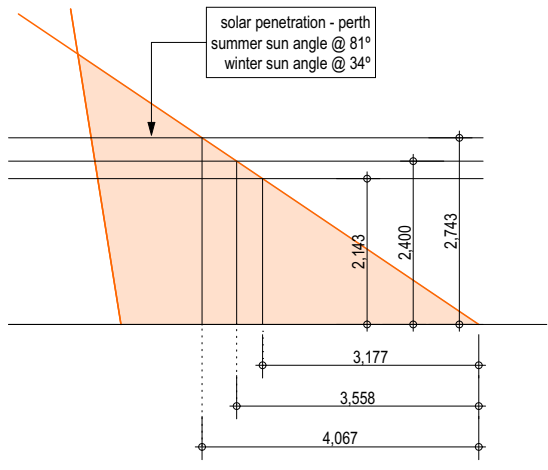
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Solar Access
Winter Solstice (21 June)

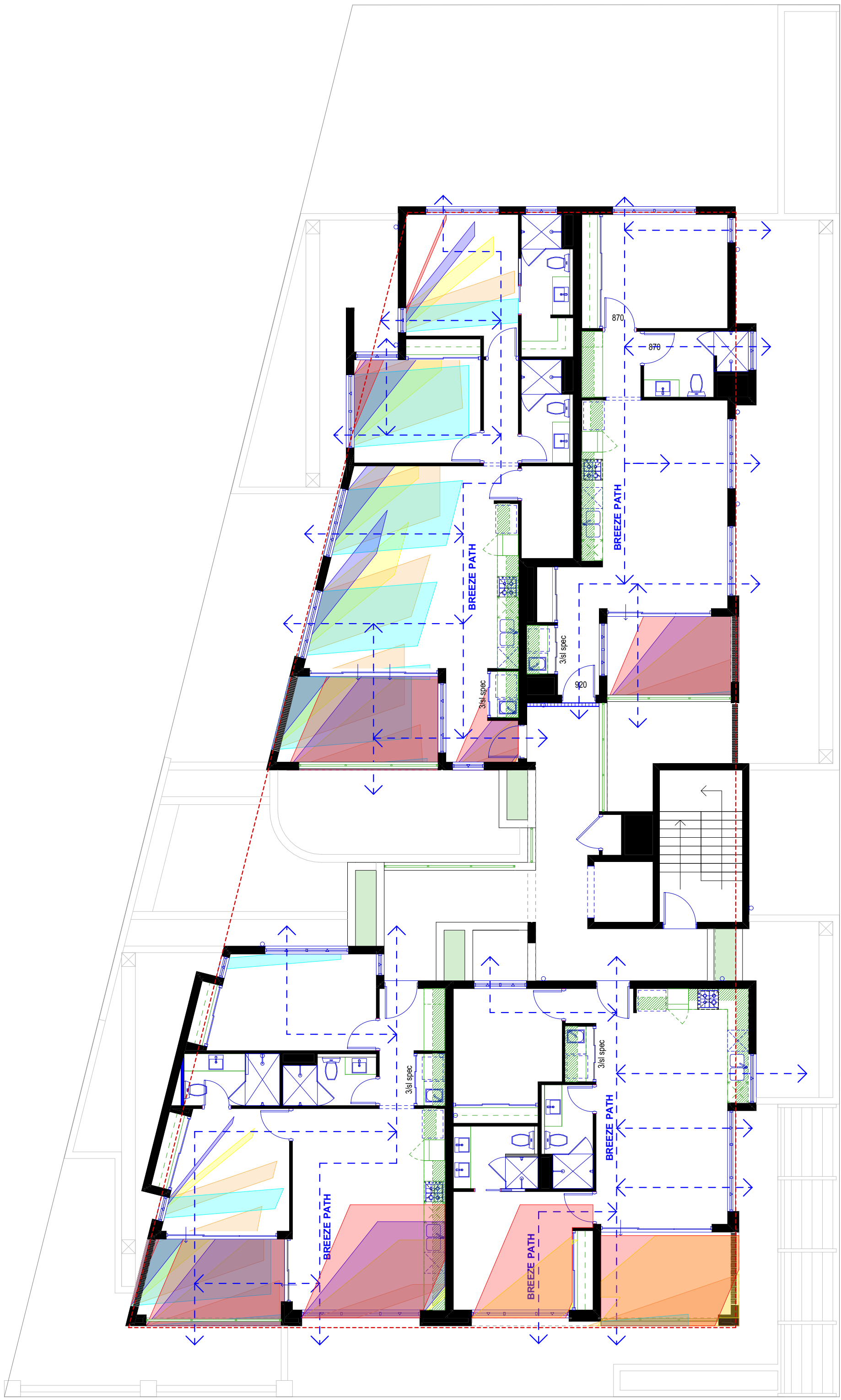
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11:00
12:00 NOON
13:00
14:00



Sunlight Diagram
as per Figure 4.1b



2nd Floor Sunlight Access/Breeze Path
scale 1:100



3rd Floor Sunlight Access/Breeze Path
scale 1:100

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